



**BUREAU
VERITAS**

FACILITY CONDITION ASSESSMENT

prepared for

Montgomery County Public Schools
45 West Gude Drive, Suite 4000
Rockville, MD 20850



Winston Churchill High School
11300 Gainsborough Road
Potomac, MD 20854

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ON SITE DATE:

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Bureau Veritas

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1. Executive Summary

Property Overview and Assessment Details

General Information	
Property Type	High school campus
Number of Buildings	1
Main Address	11300 Gainsborough Road, Potomac, MD 20854
Site Developed	1964 / 2001
Outside Occupants / Leased Spaces	None
Date(s) of Visit	January 12-14, 2026
Management Point of Contact	Montgomery County Public Schools Greg Kellner Facilities Manager, Office of Facilities Management Direct 240.740.7746 Gregory_Kellner@mcpsmd.org
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AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/

Campus Findings and Deficiencies

Historical Summary

Winston Churchill is a two-story masonry load bearing structure with brick facade originally constructed in 1964. The name was Potomac High School and was renamed in 1965 to Winston Churchill high. The school was significantly modernized from 1999-2001, consisting of a large auditorium, dance studio, and wrestling room.

Architectural

The school's construction is made up of masonry bearing walls with metal roof decks throughout and was observed to be in good condition. The roof is mostly flat construction and features multiple levels of built-up roofing with a stone finish. Metal roofing was also observed above the vestibule connecting the original and renovated areas of the building. No roof leaks were observed or reported during the assessment with replacements budgeted accordingly. Partial roof replacement was completed seven years ago; however, the majority of the roof is aged and has blisters, surface cracking, and gravel loss evident. The exterior façade is mostly of brick veneer with aluminum windows. The interior finishes vary in type and condition throughout but are mostly aged. A large majority of the interior finishes have been replaced, including renovated restrooms, carpet, bathroom fixtures, and interior paint. However, there are a few areas of aging interior finishes. Upgrades for deficient interior finishes have been budgeted accordingly.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The building utilizes a central cooling and heating system for most of the spaces. The system runs off water-cooled chillers, air cooled chiller, cooling towers, and gas fired boilers. The boilers are aged and will need replacement in the short-term. The air-cooled chiller was recently replaced in 2023; however, the water-cooled chillers are aged and recommended for replacement in the short-term. The chilled and hot water are distributed by pumps to fan coil units, energy recovery units, and air handler units that are in fair condition and located in different mechanical spaces, roofs, and common areas throughout the school. Individual systems include package units and ductless split system, mostly in fair condition. The heating and cooling system overall is in fair condition. Exhaust ventilation is provided by roof mounted exhaust fans that will require lifecycle replacement within the study period.

Hot water is provided by electric and gas-fired water heaters located in the mechanical rooms and are in fair condition. Some water heaters will need replacement in the short term. Plumbing systems generally consist of copper supply piping and cast-iron waste pipe. The property has undergone renovations over the years, and some piping replacements have been necessary. Based on this history and the age of piping, the plumbing systems require full replacement.

The electrical system is composed of main switchboards. Step-down transformers and panel boards. The electrical branch wiring and components are approaching their useful life and will require replacement in the short term. The lighting system currently utilizes linear fluorescent fixtures and LEDs. The elevator is utilizing outdated controls and equipment. Full modernization is recommended.

The fire alarm system is currently in a fair condition and operating sufficiently. The building utilizes wet fire suppression systems that were observed to be in fair condition. The commercial kitchen equipment is generally in fair condition and will require replacement within the study period. Typical lifecycle replacements and ongoing maintenance of the MEPF equipment are budgeted and anticipated.

Site

The school occupies a 31.11-acre site, featuring typical amenities for a high school campus. The property includes asphalt parking areas and concrete sidewalks connecting various building entrances and site locations. Some portion of the Parking lot pavement has signs of alligator cracking and separation. The parking lots are in fair overall condition. Outdoor facilities include athletic fields, a running track, and tennis courts. Sport fields and courts are in good-fair condition. Site lighting is provided by pole-mounted that appears to have been recently upgraded and building-mounted fixtures. Chain-link fencing surrounds most of the property perimeter for security and were in good condition.

Recommended Additional Studies

No additional studies recommended at this time.

Facility Characteristic Survey

The facility characteristics of school and associated buildings are shown below.

Indoor air quality including temperature and relative humidity level are monitored centrally. Most instructional spaces are equipped with IAQ sensors. Each general and specialty classroom has a heating, ventilation, and air conditioning (HVAC) system capable of maintaining a temperature between 68°F and 75°F and a relative humidity between 30% and 60% at full occupancy. Each general, science, and fine-arts classroom had an HVAC system that continuously moves air and is capable of maintaining a carbon dioxide level of not more than 1,200 parts per million. The temperature, relative humidity and air quality were measured at a work surface in the approximate center of the classroom.

The acoustics with the exception of physical-education spaces, each general and specialty classroom are maintainable at a sustained background sound level of less than 55 decibels. The sound levels were measured at a work surface in the approximate center of the classroom.

Each general and specialty classroom had a lighting system capable of maintaining at least 50 foot-candles of well-distributed light. The school has appropriate task lighting in specialty classrooms where enhanced visibility is required. The light levels measured at a work surface located in the approximate center of the classroom, between clean light fixtures. The school makes efficient use of natural light for students, teachers, and energy conservation.

Classroom spaces, including those for physical education, were sufficient for educational programs that are appropriate for the class-level needs. With the exception of physical-education spaces, each general and specialty classroom contained a work surface and seat for each student in the classroom. The work surface and seat were appropriate for the normal activity of the class conducted in the room.

Each general and specialty classroom had an erasable surface and a surface suitable for projection purposes, appropriate for group classroom instruction, and a display surface. Each general and specialty classroom had storage for classroom materials or access to conveniently located storage.

With the exception of physical-education spaces and music-education spaces, each general and specialty classroom shall had a work surface and seat for the teacher and for any aide assigned to the classroom. The classroom had secure storage for student records that is located in the classroom or is conveniently accessible to the classroom.

The school was constructed with sustainable design practices. The schools use durable, timeless, low-maintenance exterior materials. The school's materials (particularly shell) should withstand time as well as potential impacts related to structural, site and climate changes.

The school is functionally equitable. All students in this school have access to safe, well-maintained, and appropriately equipped learning environments as students in other MCPS schools. As part of the evaluation factor, the MDCl will be presented upon final of all assessments.

Facility Condition Index (FCI) Depleted Value

A School Facility's total FCI Depleted Value (below) and FCI Replacement Value (above) are the sum of all of its building assets and systems values. A School Facility with full estimated life of all systems (a brand new school) would have a 0 FCI. The FCIs cannot exceed 1.

The Facility Condition Index (FCI) Depleted Value quantifies the depleted life and value of a facility's primary building assets, systems and components such as roofs, windows, walls, and HVAC systems. FCI Depleted Value metrics are useful for estimating the levels of spending necessary to achieve and maintain a specific level of physical condition. Lower scores are better, as facilities with lower FCI scores have fewer building-system deficiencies, are more reliable, and will require less maintenance spending on systems replacement and mission-critical emergencies.

The FCI Depleted Value of this school is 0.551747.

Immediate Needs

There are no immediate needs to report.



Key Findings



Plumbing System in Poor Condition.

Supply & Sanitary, Low Density (excludes fixtures)
Main Building Winston Churchill High School
Throughout Building

Uniformat Code: D2010
Recommendation: **Replace in 2026**

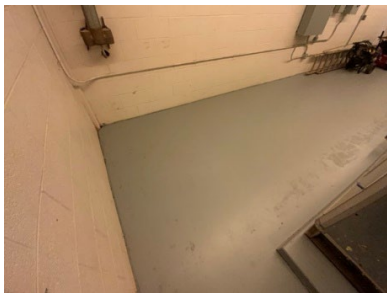
Priority Score: **84.9**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,610,400

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Based on visual observation at the time of assessment, sections of the domestic water supply and sanitary drain piping show signs of corrosion and aging. Localized staining and minor leakage were observed at several fittings. Further evaluation and repair by a licensed plumbing contractor is recommended. - AssetCALC ID: 10204983



Recommended Follow-up Study: Structural, Foundation

Structural, Foundation
Main Building Winston Churchill High School
Substructure

Uniformat Code: P2030
Recommendation: **Evaluate/Report in 2026**

Priority Score: **81.9**

Plan Type:
Performance/Integrity

Cost Estimate: \$7,000

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Due to flooding in the woodshop area of the building, it appears to be a foundational issues and a structural engineering assessment is recommended. - AssetCALC ID: 10204881



Air Compressor in Failed Condition.

Tank-Style
Main Building Winston Churchill High School
Boiler Room

Uniformat Code: D2060
Recommendation: **Replace in 2026**

Priority Score: **81.9**

Plan Type:
Performance/Integrity

Cost Estimate: \$10,600

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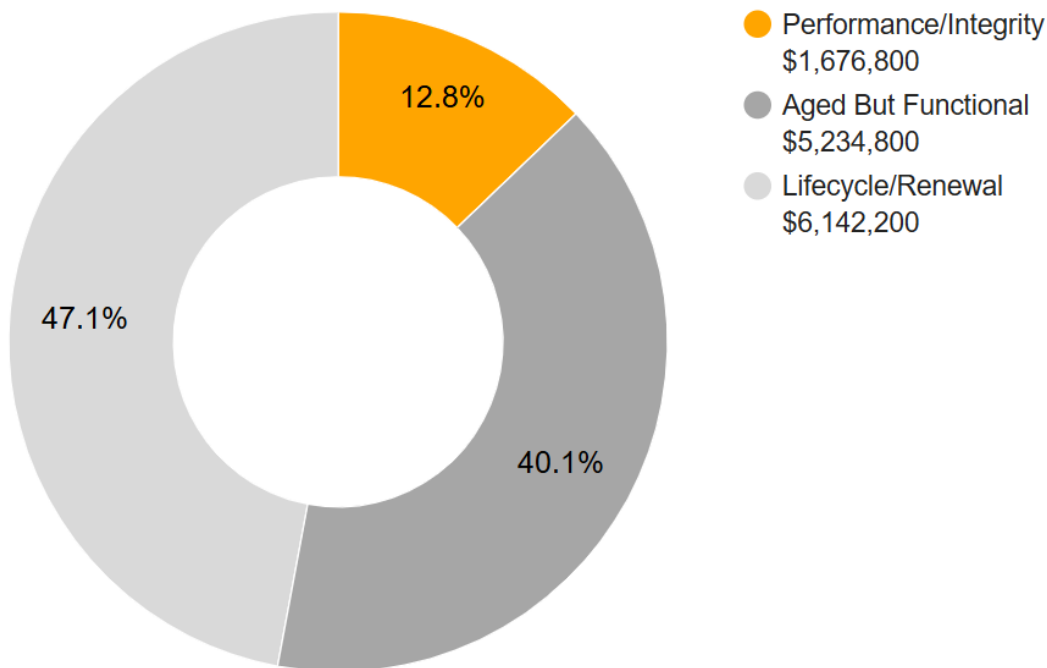
Out of service. - AssetCALC ID: 10204918

Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

Plan Type Descriptions & Distribution

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in order to meet current standards, facility usage, or client/occupant needs.
Aged But Functional	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
Lifecycle/Renewal	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.



10-YEAR TOTAL: \$13,053,800

2. Building Information



Main Building: Systems Summary

Address	11300 Gainsborough Road, Potomac, MD 20854	
GPS Coordinates	39.0423992, -77.1761673	
Constructed/Renovated	1964/ 2001	
Building Area	322,078 SF	
Number of Stories	2 above grade with 1 below-grade basement levels	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls with metal roof deck supported by open-web steel joists and concrete strip/wall footing foundation system	Good
Façade	Primary Wall Finish: Brick Windows: Aluminum	Fair
Roof	Primary: Flat construction with built-up Secondary: Hip construction Metal	Fair
Interiors	Walls: Painted gypsum board, ceramic tile Floors: Carpet, VCT, ceramic tile, wood strip, quarry tile Ceilings: Painted gypsum board, ACT, Unfinished/exposed	Fair
Elevators	Passenger: 1 hydraulic car serving 2 floors Freight: Wheelchair lift	Fair

Main Building: Systems Summary		
Plumbing	Distribution: Copper supply and cast iron, PVC waste & venting Hot Water: Gas and electric water heaters with integral tanks Fixtures: Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central System: Boilers, air handlers, ERUs, cooling tower, water /air cooled chillers feeding fan coil units and Unit ventilators Non-Central System: Packaged units (RTUs) Supplemental components: Ductless split-systems, Split systems	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers, and kitchen hood system	Fair
Electrical	Source & Distribution: Main switchboard, Transformer, panel with copper wiring Interior Lighting: LED, linear fluorescent Exterior Building-Mounted Lighting: LED, CFL Emergency Power: Natural gas generator with automatic transfer switch	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	The interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roofs.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Structure	-	-	-	-	-	-
Facade	-	-	-	\$92,000	\$1,429,800	\$1,521,800
Roofing	-	-	\$2,537,500	-	\$68,400	\$2,606,000
Interiors	-	-	\$271,800	\$1,763,300	\$10,455,100	\$12,490,200
Conveying	-	-	\$67,400	\$11,400	\$20,800	\$99,500
Plumbing	-	\$1,669,600	\$13,500	\$22,600	\$394,400	\$2,100,100
HVAC	-	-	\$1,811,600	\$2,157,700	\$6,888,500	\$10,857,800
Fire Protection	-	-	-	-	\$477,000	\$477,000
Electrical	-	-	\$113,800	\$411,600	\$4,684,100	\$5,209,500
Fire Alarm & Electronic Systems	-	\$683,400	\$16,900	-	\$3,543,100	\$4,243,300
Equipment & Furnishings	-	-	\$15,300	\$210,800	\$1,811,400	\$2,037,600
Site Utilities	-	-	-	\$1,000	\$7,700	\$8,700
Follow-up Studies	-	\$7,200	-	-	-	\$7,200
TOTALS (3% inflation)	-	\$2,360,200	\$4,847,800	\$4,670,400	\$29,780,300	\$41,658,700

3. Site Summary



Site Information		
Site Area	31.11 acres (estimated)	
Parking Spaces	315 total spaces all in open lots; 11 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Site Pavement	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted, Property entrance signage; chain link fencing Sports fields and courts with bleachers, dugouts, fencing, and site lights	Fair
Landscaping & Topography	Limited landscaping features including lawns, trees, bushes, and planters Low to moderate site slopes throughout along east boundary	Good
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED, HPS	Good
Ancillary Structures	Storage sheds, Prefabricated modular buildings	Fair
Site Accessibility	Presently it does not appear an accessibility study is needed for the exterior site areas. See the appendix for associated photos and additional information.	

Site Information	
Site Additional Studies	No additional studies are currently recommended for the exterior site areas.
Site Areas Observed	The exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
Site Key Spaces Not Observed	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or site system over the next 20 years.

System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Structure	-	-	-	\$2,800	-	\$2,800
Equipment & Furnishings	-	-	-	-	\$300,400	\$300,400
Special Construction & Demo	-	-	-	-	\$1,001,700	\$1,001,700
Site Development	-	-	-	\$314,000	\$466,000	\$779,900
Site Pavement	-	-	\$78,700	\$779,900	\$228,300	\$1,086,900
Site Utilities	-	-	-	-	\$74,800	\$74,800
TOTALS (3% inflation)	-	-	\$78,700	\$1,096,700	\$2,071,100	\$3,246,500

4. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of a historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The following table summarizes the accessibility conditions of the general site and each significant building or building group included in this report:

Accessibility Summary			
<i>Facility</i>	<i>Year Built/ Renovated</i>	<i>Prior Study Provided?</i>	<i>Major/Moderate Issues Observed?</i>
General Site	1964 / 2001	No	No
Main Building	1964 / 2001	No	No

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.

5. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

6. Opinions of Probable Costs

Cost estimates are embedded throughout this report, including the detailed Replacement Reserves report in the appendix. The cost estimates are predominantly based on construction rehabilitation costs developed by the *RSMMeans data from Gordian*. While the *RSMMeans data from Gordian* is the primary reference source for the Bureau Veritas cost library, secondary and supporting sources include but are not limited to other industry experts work, such as *Marshall & Swift* and *CBRE Whitestone*. For improved accuracy, additional research integrated with Bureau Veritas's historical experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions also come into play when deemed necessary. Invoice or bid documents provided either by the owner or facility construction resources may be reviewed early in the process or for specific projects as warranted.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

To account for differences in prices between locations, the base costs are modified by geographical location factors to adjust for market conditions, transportation costs, or other local contributors. When requested by the client, the costs may be further adjusted by several additional factors including; labor rates (prevailing minimum wage), general contractor fees for profit and overhead, and insurance. If desired, costs for design and permits, and a contingency factor, may also be included in the calculations.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

7. Certification

Montgomery County Public Schools (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Winston Churchill High School, 11300 Gainsborough Road, Potomac, MD 20854, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

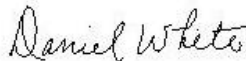
No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

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8. Appendices

- Appendix A: Photographic Record
- Appendix B: Site Plan(s)
- Appendix C: Pre-Survey Questionnaire(s)
- Appendix D: Accessibility Review and Photos
- Appendix E: Component Condition Report
- Appendix F: Replacement Reserves
- Appendix G: Equipment Inventory List



Appendix A:

Photographic Record

Photographic Overview



1 - FRONT ELEVATION



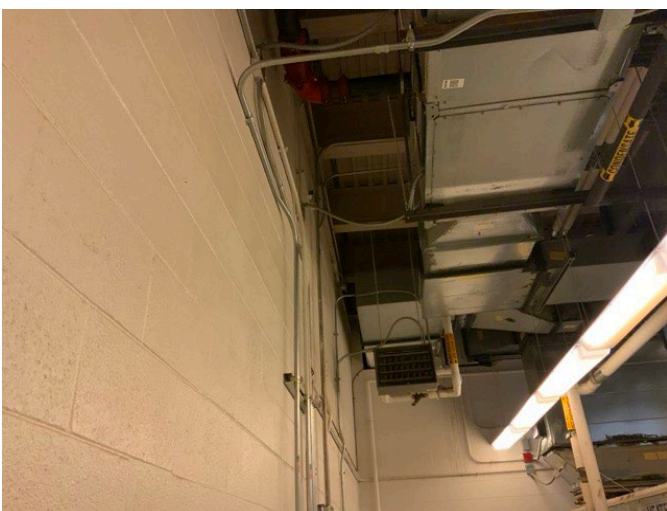
2 - LEFT ELEVATION



3 - REAR ELEVATION



4 - RIGHT ELEVATION



5 - STRUCTURAL FRAMING



6 - ROOFING

Photographic Overview



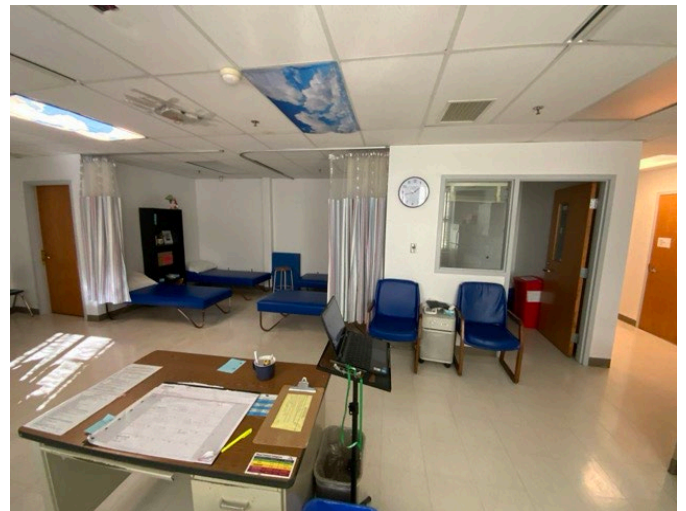
7 - MAIN ENTRANCE



8 - RECEPTION



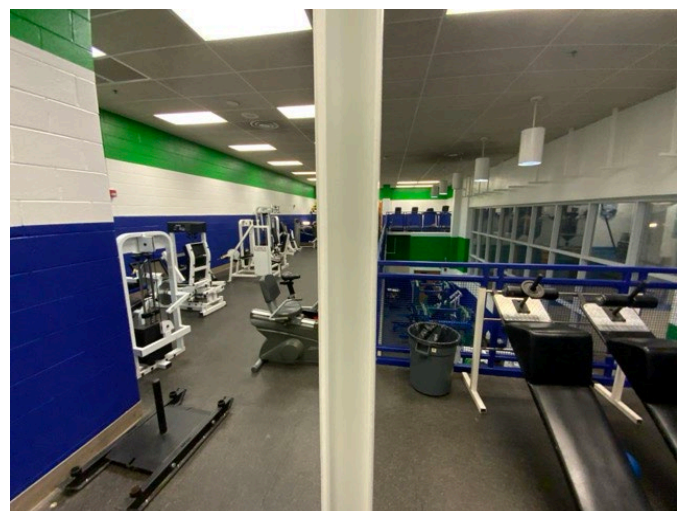
9 - OFFICES



10 - HEALTH SUITE



11 - SCIENCE CLASSROOM



12 - WEIGHT ROOM

Photographic Overview



13 - TYPICAL CLASSROOM



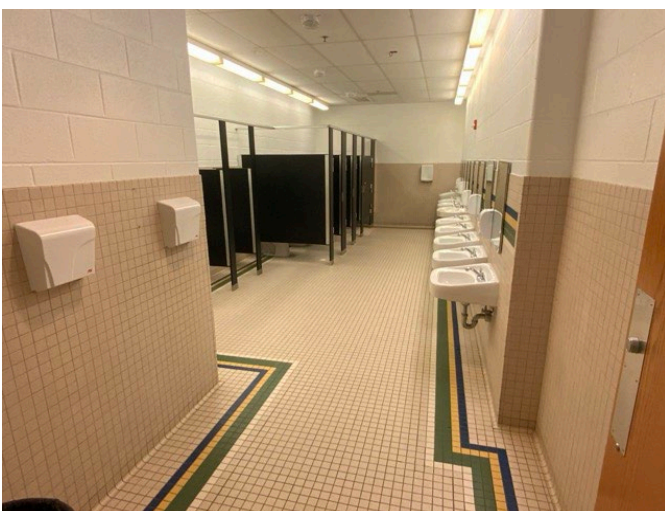
14 - SECONDARY GYMNASIUM



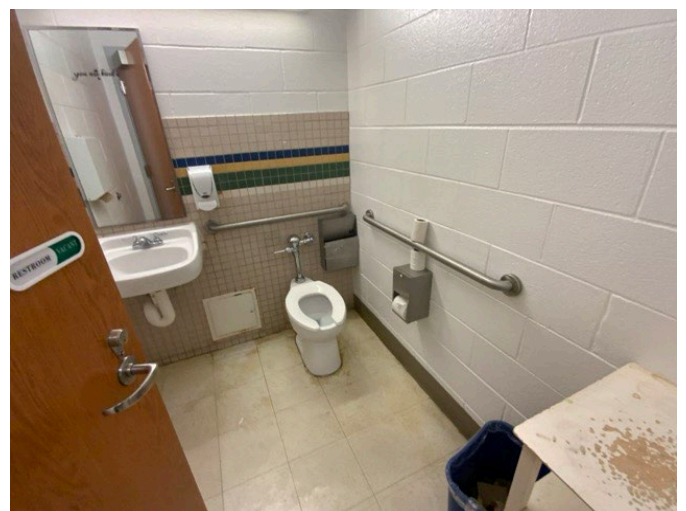
15 - LIBRARY



16 - COMMERCIAL KITCHEN



17 - GANG STYLE RESTROOM



18 - STAFF RESTROOM

Photographic Overview



19 - WATER HEATER



20 - BOILER ROOM



21 - WATER-COOLED CHILLER



22 - COOLING TOWER



23 - AIR HANDLER



24 - SPLIT SYSTEM DUCTLESS

Photographic Overview



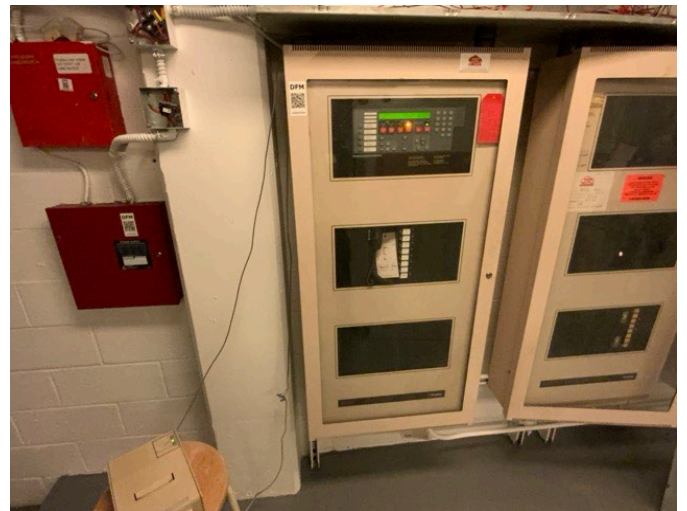
25 - PACKAGED UNIT



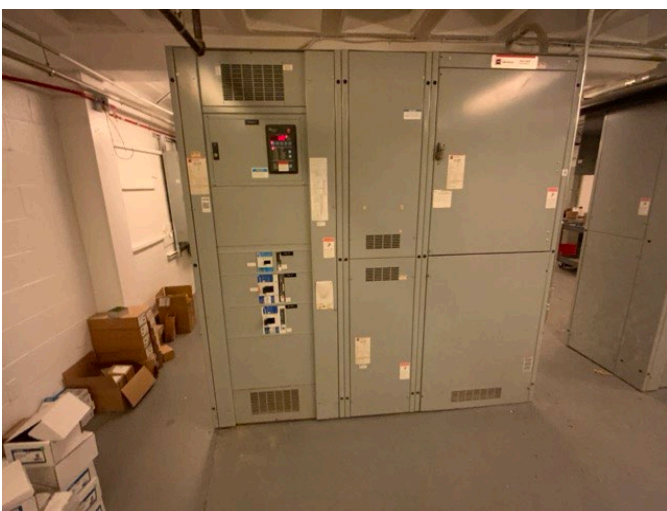
26 - FAN COIL UNIT



27 - BACKFLOW



28 - FIRE ALARM PANEL



29 - SWITCHBOARD



30 - SHED STRUCTURE

Photographic Overview



31 - EQUIPMENT STORAGE



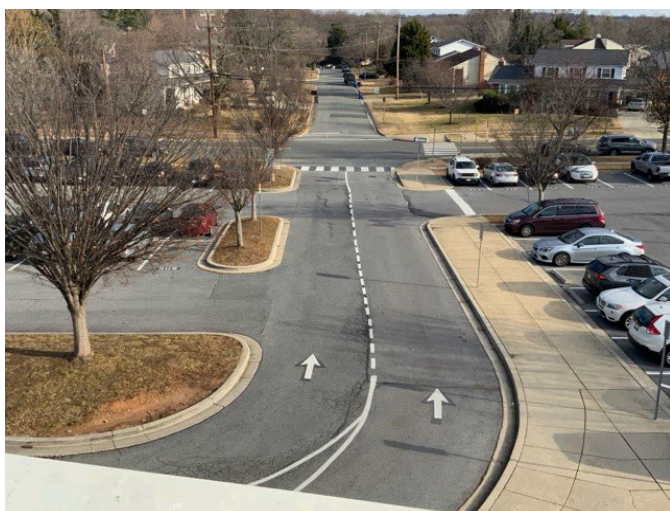
32 - COURTYARD



33 - SPORTS COURTS



34 - SPORTS FIELDS



35 - MAIN ENTRANCE LOOP



36 - PARKING LOT



Appendix B:

Site Plan(s)

Site Plan



Image © 2026 Airbus



Project Number

172559.25R000-181.354

Source

Google

Project Name

Winston Churchill High School

On-Site Date

January 12-15, 2026



Appendix C: Pre-Survey Questionnaire(s)

BV Facility Condition Assessment: Pre-Survey Questionnaire

Building / Facility Name: Winston Churchill High School
Name of person completing form: Lisa Wellek, SBA and Juana Amaya, BSM
Title / Association with property: School Business Administrator and Building Services Manager
Length of time associated w/ property: 13 years and 4 years
Date Completed: 1/6/26
Phone Number: 240-740-5417 or 240-740-5403
Method of Completion: PRIOR: fully completed by client in advance

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any Yes responses.

Data Overview		Response		
1	Year/s constructed / renovated	1964 opened, 2001 renovation		
2	Building size in SF	322,078 sq ft and 4 portables		
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Façade	2001	Renovation
		Roof	2018-2019	Not sure when it was last replaced, but within the past 7-8 years there was a partial replacement- the auditorium, wrestling room and dance studio.
		Interiors	Various	Full school paint, summer 2025 Had additional spaces added/converted several times through the years. Tech rooms converted in 2013. Bathroom fixture replacement in 2017-18. Converted a classroom to an autism room in summer of 2020, bathroom added in 2025. Main and Aux Gym floors refinished summer 2025. PA system replaced 2025. Fire alarm system is being replaced currently, to be completed by summer 2026. Elevator to be replaced summer 2026. Carpet has not been touched in the auditorium since 2011. Media center furniture/fixtures have not been replaced since 2001.
		HVAC	Various	Original, valve replacement approx.2018. then valves replaced actuators in 2020. Air cool Chiller replaced in 2023. Chiller #1- is being rebuilt. Chiller #2 is original and nothing has been done. Boilers are working ok but are original. Cooling tower has been partially rebuilt in 2023.
	Electrical	2000	Panels read that they were originally installed in 2000 as renovation was completed in 2001.	

		Site Pavement		Not repaved since before 2013. FPRs have been submitted and declined.
		Accessibility		Have had some work done- sidewalk access points wheelchair accessible doors at auditorium and Main office entrances. Not at main student entrance (maybe not needed).
Question		Response		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?	Requested Camera upgrade for all internal and external cameras- alleviate blind spot (has been addressed through security, but we haven't received upgrades yet). Requested W/O 257092 and 257102.- Replacement lighting both interior and exterior- exterior have been verbally promised, interior we have been told we are on a list but was pushed twice. We should have received in the Summer of 2023. Requested W/O 257056 that the building be rekeyed. Requested W/O 261691- ventilation upgrades in wrestling room. Requested W/O 257072- staff restroom flooring replacement, incorrect tiles used. Requested W/O257058 Main office Island removed.		
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

Question	Response				Comments	
	Yes	No	Unk	NA		
7	Are there any problems with foundations or structures, like excessive settlement?			X		Woodshop gets flooded when it rains. It has happened several times. Roof has been examined and ruled out. Seems like it is coming from the floor. Has been found in different areas, we think it may be foundational. The flooding is significant, not just a little pooling of water.
8	Are there any wall, window, basement or roof leaks?		X			Maintenance has reported the gutters need to be replaced. Storm drains back up and flood hallways outside main gym, auditorium and courtyards with major rain.
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality or mold related complaints from occupants?	X				Yes, this past summer in our auditorium- extensive. There was mold in art office closet- remediated.
10	Are your elevators unreliable, with frequent service calls?	X				Being replaced this summer - 2026
11	Are there any plumbing leaks, water pressure, or clogging/back-up problems?	X				Toilets have been an ongoing issue since a full restroom fixture replacement in approx. 2018. Storm drains back up and flood hallways outside main gym, auditorium and courtyards with major rain. Blocked up drain issues in science classrooms and bathrooms on the first floor. We clean out faucet filters monthly. If not, there is little to no water pressure in the bathrooms. Water lines appear to hold a lot of debris- this should be checked.

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any Yes responses. (NA indicates "Not Applicable", Unk indicates "Unknown")

Question	Response				Comments
	Yes	No	Unk	NA	
12	Have there been any leaks or pressure problems with natural gas, HVAC supply/return lines, or steam service?		X		
13	Are any areas of the facility inadequately heated, cooled or ventilated? Any poorly insulated areas?	X			<p>Wrestling room needs to be ventilated better. Requested W/O 261691- ventilation upgrades in wrestling room.</p> <p>126 and 128 need to be checked for ventilation and HVAC- always too hot or too cold.</p> <p>Room 264 - no valve in room, valve has now been replaced. Still overheating, directly over boiler room.</p> <p>Aux Gym and surrounding areas have been a consistent area of concern during winter. The units do not appear to be working despite BAS increasing set point and HVAC troubleshooting the mechanics of the units.</p> <p>Auditorium gets overcooled in the summer. Advised to keep boilers running to combat issue. But then that affects other areas of the school – overheating issues.</p> <p>Insulation is one of the biggest issues- when converting from heating to cooling, there is a lot of insulation missing and then we have constant water leaks all throughout the school In the ceilings.</p>
14	Is the electrical service outdated, undersized, or otherwise problematic?		X		
15	Are there any problems or inadequacies with exterior lighting?	X			<p>Waiting for some exterior lighting replacements to be completed. Requested security lighting by lower parking lot hasn't been resolved. Behind the school is going to be replaced but waiting for maintenance to order more lights and installation.</p> <p>Main gym lighting- have constant problems. Light fixtures keep dropping from ceiling as students hit them with balls. Safety issue.</p>
16	Is site/parking drainage inadequate, with excessive ponding or other problems?	X			<p>Behind the cafeteria definitely needs replacement- submitted a FPR but was declined due to budget. Lower lot by tennis court needs to be replaced as well. In these areas, there are sink holes, a lot of cracked pavement, need cement space bumpers in all spaces by the field hockey field and tennis courts to prevent accident or injury (cars running into fence/on field or tennis court)</p>
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X		
18	ADA: Has an accessibility study been performed at the site? If so, indicate when.	X			FY25
19	ADA: If a study has occurred, have the associated recommendations been addressed? In full or in part?	X			
20	ADA: Have there been regular complaints about accessibility issues, or associated previous or pending litigation?	X			Portable ramp is not level - in progress

Appendix D: Accessibility Review and Photos



Visual Checklist - 2010 ADA Standards for Accessible Design

Property Name: Winston Churchill High School

BV Project Number: 172559.25R000-181.354

Abbreviated Accessibility Checklist

Facility History & Interview

Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?			X	
2	Have any ADA improvements been made to the property since original construction? Describe.	X			
3	Has building management reported any accessibility-based complaints or litigation?		X		

Abbreviated Accessibility Checklist

Parking



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL

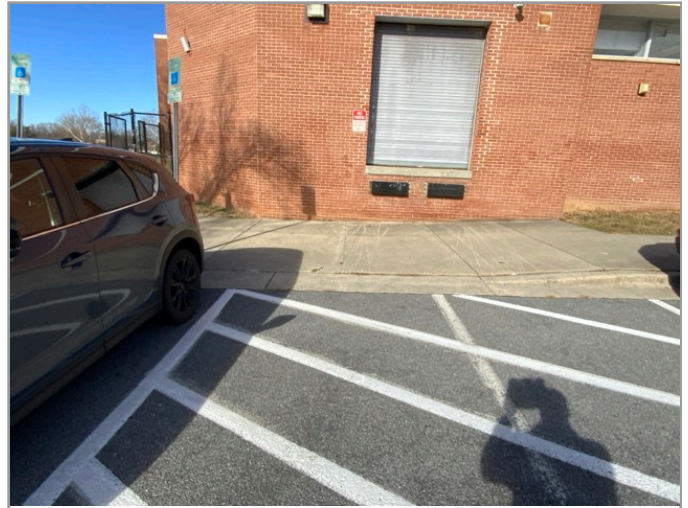
Question		Yes	No	NA	Comments
1	Does the required number of standard ADA designated spaces appear to be provided ?	✘			
2	Does the required number of van-accessible designated spaces appear to be provided ?	✘			
3	Are accessible spaces on the shortest accessible route to an accessible building entrance ?	✘			
4	Does parking signage include the International Symbol of Accessibility ?	✘			
5	Does each accessible space have an adjacent access aisle ?	✘			
6	Do parking spaces and access aisles appear to be relatively level and without obstruction ?	✘			

Abbreviated Accessibility Checklist

Exterior Accessible Route



2ND PATHWAY



CURB CUT

Question		Yes	No	NA	Comments
1	Is an accessible route present from public transportation stops and municipal sidewalks on or immediately adjacent to the property ?	✗			
2	Does a minimum of one accessible route appear to connect all public areas on the exterior, such as parking and other outdoor amenities, to accessible building entrances ?	✗			
3	Are curb ramps present at transitions through raised curbs on all accessible routes?	✗			
4	Do curb ramps appear to have compliant slopes for all components ?	✗			
5	Do ramp runs on an accessible route appear to have compliant slopes ?	✗			
6	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			

7	Do ramps on an accessible route appear to have compliant end and intermediate landings ?	X			
8	Do ramps and stairs on an accessible route appear to have compliant handrails?	X			
9	For stairways that are open underneath, are permanent barriers present that prevent or discourage access?	X			

Abbreviated Accessibility Checklist

Building Entrances



MAIN ENTRANCE



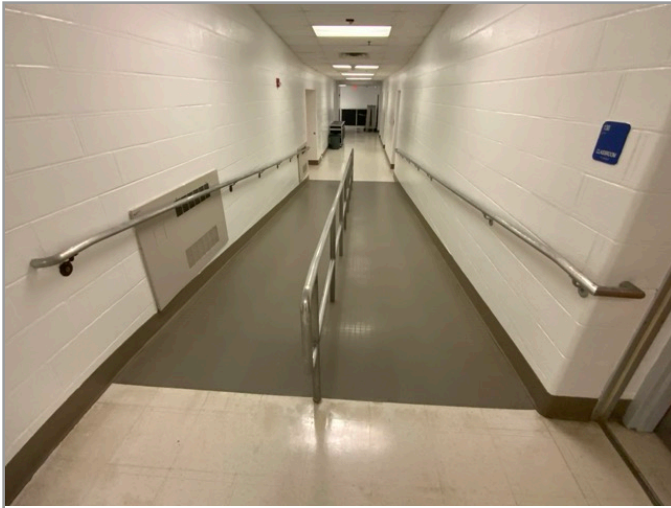
ADDITIONAL ENTRANCE

Question		Yes	No	NA	Comments
1	Do a sufficient number of accessible entrances appear to be provided ?	✗			
2	If the main entrance is not accessible, is an alternate accessible entrance provided?	✗			
3	Is signage provided indicating the location of alternate accessible entrances ?	✗			
4	Do doors at accessible entrances appear to have compliant maneuvering clearance area on each side ?	✗			
5	Do doors at accessible entrances appear to have compliant hardware ?	✗			
6	Do doors at accessible entrances appear to have a compliant clear opening width ?	✗			

7	Do pairs of accessible entrance doors in series appear to have the minimum clear space between them ?	X			
8	Do thresholds at accessible entrances appear to have a compliant height ?	X			

Abbreviated Accessibility Checklist

Interior Accessible Route



ACCESSIBLE INTERIOR RAMP



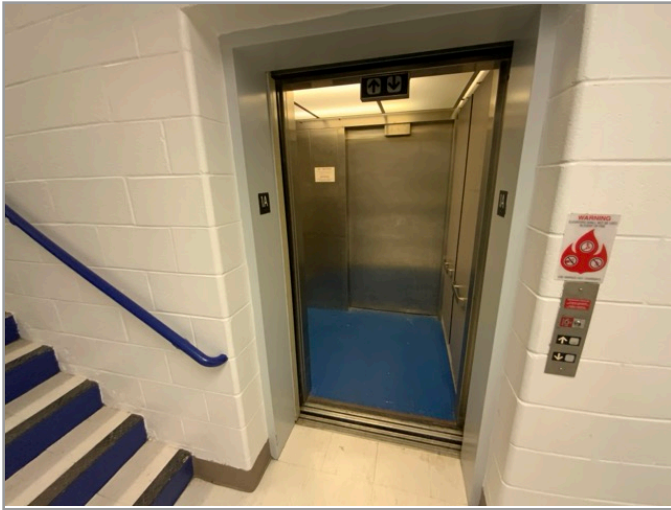
DOOR HARDWARE

Question		Yes	No	NA	Comments
1	Does an accessible route appear to connect all public areas inside the building ?	✗			
2	Do accessible routes appear free of obstructions and/or protruding objects ?	✗			
3	Do ramps on accessible routes appear to have compliant slopes ?	✗			
4	Do ramp runs on an accessible route appear to have a compliant rise and width ?	✗			
5	Do ramps on accessible routes appear to have compliant end and intermediate landings ?	✗			
6	Do ramps on accessible routes appear to have compliant handrails ?	✗			

7	Are accessible areas of refuge and the accessible means of egress to those areas identified with accessible signage ?	X			
8	Do public transaction areas have an accessible, lowered service counter section ?	X			
9	Do public telephones appear mounted with an accessible height and location ?			X	
10	Do doors at interior accessible routes appear to have compliant maneuvering clearance area on each side ?	X			
11	Do doors at interior accessible routes appear to have compliant hardware ?	X			
12	Do non-fire hinged, sliding, or folding doors on interior accessible routes appear to have compliant opening force ?	X			
13	Do doors on interior accessible routes appear to have a compliant clear opening width ?	X			

Abbreviated Accessibility Checklist

Elevators



LOBBY LOOKING AT CABS



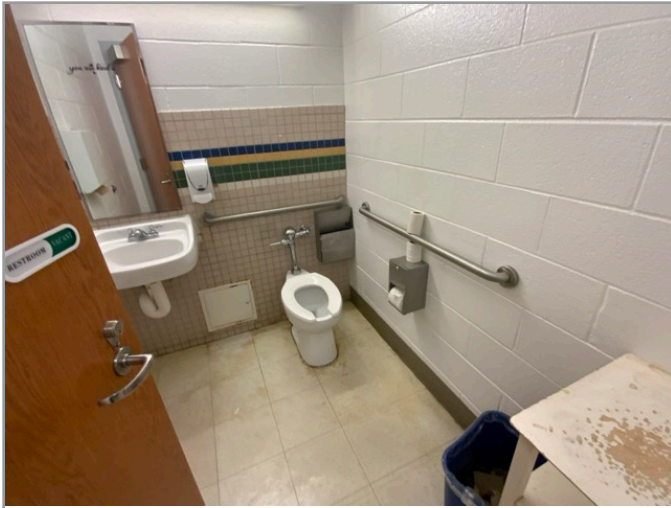
IN-CAB CONTROLS

Question		Yes	No	NA	Comments
1	Are hallway call buttons configured with the "UP" button above the "DOWN" button?	✗			
2	Is accessible floor identification signage present on the hoistway sidewalls on each level ?	✗			
3	Do the elevators have audible and visual arrival indicators at the lobby and hallway entrances?	✗			
4	Do the elevator hoistway and car interior appear to have a minimum compliant clear floor area ?	✗			
5	Do the elevator car doors have automatic re-opening devices to prevent closure on obstructions?	✗			
6	Do elevator car control buttons appear to be mounted at a compliant height ?	✗			

7	Are tactile and Braille characters mounted to the left of each elevator car control button ?	X			
8	Are audible and visual floor position indicators provided in the elevator car?	X			
9	Is the emergency call system on or adjacent to the control panel and does it not require voice communication ?	X			

Abbreviated Accessibility Checklist

Public Restrooms



TOILET STALL OVERVIEW



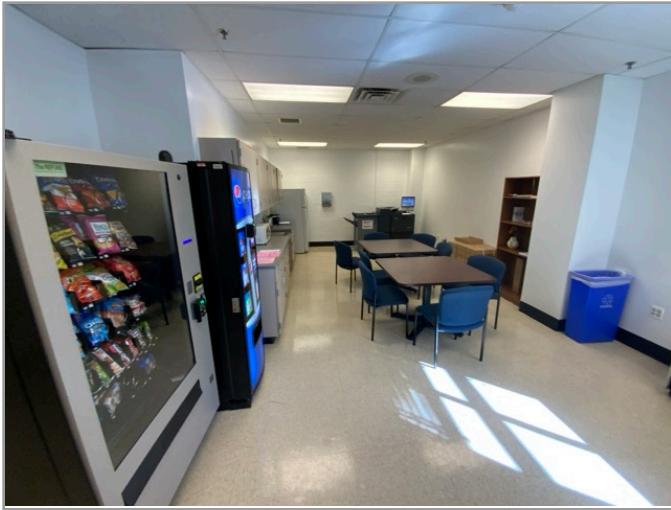
SINK, FAUCET HANDLES AND ACCESSORIES

Question		Yes	No	NA	Comments
1	Do publicly accessible toilet rooms appear to have a minimum compliant floor area ?	✗			
2	Does the lavatory appear to be mounted at a compliant height and with compliant knee area ?	✗			
3	Does the lavatory faucet have compliant handles ?	✗			
4	Is the plumbing piping under lavatories configured to protect against contact ?	✗			
5	Are grab bars provided at compliant locations around the toilet ?	✗			
6	Do toilet stall doors appear to provide the minimum compliant clear width ?	✗			

7	Do toilet stalls appear to provide the minimum compliant clear floor area ?	X			
8	Where more than one urinal is present in a multi-user restroom, does minimum one urinal appear to be mounted at a compliant height and with compliant approach width ?	X			
9	Do accessories and mirrors appear to be mounted at a compliant height ?	X			

Abbreviated Accessibility Checklist

Kitchens/Kitchenettes



KITCHEN PATH OF TRAVEL



KITCHEN OVERVIEW

Question		Yes	No	NA	Comments
1	Do kitchens/kitchenettes appear to have a minimum compliant path of travel or area of maneuverability ?	✘			
2	Are the appliances centered for a parallel or forward approach with adequate clear floor space ?	✘			
3	Is there an accessible countertop/preparation space of proper width and height ?	✘			
4	Is there an accessible sink space of proper width and height ?	✘			
5	Does the sink faucet have compliant handles ?	✘			
6	Is the plumbing piping under the sink configured to protect against contact ?	✘			

7	Are the cooktop/range controls front-mounted (or in a location that does not require reaching across the burners) ?	✗			
---	---	---	--	--	--

Appendix E: Component Condition Report

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
Structure						
B1010	Superstructure	Good	Structural Framing, Masonry (CMU) Bearing Walls, 1-2 Story Building	322,078 SF	41	10204966
Facade						
B2010	Building Exterior	Fair	Exterior Walls, Brick/Masonry/Stone, Clean & Seal, Maintain	37,900 SF	9	10204981
B2020	Building Exterior	Fair	Glazing, any type by SF	16,200 SF	16	10204909
B2050	Building Exterior	Good	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	14	21	10204952
Roofing						
B3010	Roof	Fair	Roofing, Built-Up	161,039 SF	4	10204960
B3010	Roof	Fair	Roofing, Metal	2,500 SF	16	10204886
B3060	Roof	Fair	Roof Hatch, Metal	3	16	10204938
B3060	Roof	Fair	Roof Skylight, per SF of glazing	125 SF	16	10204965
Interiors						
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	285	16	10204977
C1030	Throughout Building	Fair	Interior Door, Steel, Standard	20	21	10204805
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	193,300 SF	16	10204789
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	26	14	10204887
C1090	Throughout Building	Fair	Lockers, Steel-Baked Enamel, 12" W x 15" D x 72" H	250 LF	11	10204958
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	128,800 SF	11	10204901
C2010	Gymnasium	Good	Wall Finishes, Gym Wall Pads, Secured and 1.5" Thick	16,100 SF	11	10204994
C2010	Gymnasium 2	Fair	Wall Finishes, Gym Wall Pads, Secured and 1.5" Thick	16,100 SF	7	10204803
C2010	Throughout Building	Good	Wall Finishes, any surface, Prep & Paint	483,200 SF	9	10204819
C2030	Gymnasium	Fair	Flooring, Wood, Sports, Refinish	3,000 SF	7	10204822
C2030	Throughout Building	Good	Flooring, Vinyl Tile (VCT)	161,100 SF	11	10204775
C2030	Throughout Building	Fair	Flooring, any surface, w/ Paint or Sealant, Prep & Paint	32,200 SF	6	10204959

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
C2030	Restrooms	Fair	Flooring, Ceramic Tile	64,400 SF	16	10204831
C2030	Gymnasium	Good	Flooring, Wood, Sports, Refinish	6,000 SF	10	10204911
C2030	Library	Fair	Flooring, Carpet, Commercial Standard	32,200 SF	4	10204986
C2050	Gymnasium	Fair	Ceiling Finishes, exposed irregular elements, Prep & Paint	48,300 SF	6	10204796
C2050	Throughout Building	Good	Ceiling Finishes, any flat surface, Prep & Paint	48,300 SF	8	10204864
C2050	Gymnasium	Good	Ceiling Finishes, exposed irregular elements, Prep & Paint	32,200 SF	8	10204848
Conveying						
D1010	M104	Fair	Elevator Controls, Automatic, 1 Car	1	3	10204809
D1010	M104	Fair	Passenger Elevator, Hydraulic, 2 Floors, 2500 LB, Renovate	1	4	10204850
D1010	Throughout Building	Fair	Stair Climber Inclined Lift, Wheelchair, per Story, Replace/Install	1	11	10204795
D1010	Throughout Building	Fair	Elevator Cab Finishes, Standard	1	8	10204799
Plumbing						
D2010	Boiler Room	Good	Water Heater, Gas, Commercial (200 MBH), 100 GAL	1	19	10204961
D2010	Restrooms	Fair	Urinal, Standard	12	16	10204926
D2010	Mechanical Room	Good	Water Heater, Electric, Commercial (12 kW), 50 GAL	1	17	10204943
D2010	Utility Rooms/Areas	Fair	Sink/Lavatory, Service Sink, Floor	1	16	10204858
D2010	Chiller Room	Fair	Pump Station, Duplex Mounted, 5 HP	1	11	10204895
D2010	Boiler Room	Fair	Water Softener, Domestic Water, 300k Grains & 80 GPM, 10 GAL	1	11	10204908
D2010	Classrooms Science	Fair	Emergency Plumbing Fixtures, Eye Wash & Shower Station	6	11	10204990
D2010	Boiler Room	Fair	Water Heater, Gas, Commercial (400 MBH), 100 GAL	1	11	10204999
D2010	Storage Room	Fair	Water Heater, Electric, Commercial (12 kW), 50 GAL	1	3	10204998
D2010	M201	Good	Water Heater, Gas, Commercial (400 MBH), 100 GAL	1	16	10204871
D2010	Chiller Room	Good	Pump, Circulation, Domestic Water, .75 HP	1	12	10204800
D2010	Locker Rooms	Fair	Shower, Ceramic Tile	12	16	10204773
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	22	17	10204884

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D2010	Throughout Building	Poor	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	322,078 SF	1	10204983
D2010	Boiler Room	Fair	Water Heater, Gas, Commercial (200 MBH), 100 GAL	1	11	10204903
D2010	Throughout Building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	6	9	10204894
D2010	Mechanical Room	Fair	Water Softener, Domestic Water, 300k Grains & 80 GPM, 10 GAL	1	15	10204940
D2010	Boiler Room	Fair	Water Heater, Gas, Commercial (200 MBH), 100 GAL	1	11	10204820
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	26	24	10204937
D2010	Chiller Room	Fair	Pump, Circulation/Booster, Domestic Water, 20 HP	1	11	10204907
D2030	Mechanical Room	Fair	Pump, Sump, 3 HP	1	8	10204975
D2030	Main Electrical Room	Fair	Pump, Sump, 3 HP	1	8	10204824
D2060	Boiler Room	Failed	Air Compressor, Tank-Style, 5 HP	1	1	10204918
HVAC						
D3020	Penthouse	Fair	Furnace, Gas, 250 MBH	1	3	10204812
D3020	Roof	Fair	Unit Heater, Natural Gas, 900 MBH	1	11	10205008
D3020	Mechanical Room	Fair	Unit Heater, Hydronic, 250 MBH	1	10	10204872
D3020	E235	Fair	Unit Heater, Hydronic, 85 MBH	1	10	10204826
D3020	Penthouse	Fair	Unit Heater, Hydronic, 100 MBH	1	8	10205007
D3020	Mechanical Room	Fair	Unit Heater, Hydronic, 85 MBH	1	9	10204934
D3020	Electrical Room	Fair	Unit Heater, Hydronic, 100 MBH	1	11	10205010
D3020	Boiler Room	Fair	Boiler, Gas, HVAC, 10461 MBH [B 2]	1	7	10204910
D3020	Chiller Room	Fair	Boiler Supplemental Components, Expansion Tank, 150 GAL	1	12	10204883
D3020	Main Electrical Room	Fair	Unit Heater, Hydronic, 400 MBH	1	4	10204985
D3020	Boiler Room	Fair	Boiler, Gas, HVAC, 10461 MBH	1	7	10204916
D3020	Boiler Room	Fair	Unit Heater, Hydronic, 400 MBH	1	4	10204818
D3020	Concession	Fair	Unit Heater, Electric, 20 KW	1	9	10204876
D3030	Roof	Fair	Split System, Condensing Unit/Heat Pump, 2 TON	1	3	10204875

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID	
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 5 TON	1	11	10204882	
D3030	Chiller Room	Fair	Chiller, Water-Cooled, 320 TON [CH 2]	1	3	10204947	
D3030	Building Exterior	Fair	Cooling Tower, (Typical) Open Circuit, 296 TON	1	3	10204935	
D3030	Building Exterior	Good	Chiller, Air-Cooled, 100 TON	1	23	10204768	
D3030	Roof	Fair	Split System Ductless, Single Zone, 1.5 TON	1	9	10204828	
D3030	Building Exterior	Fair	Cooling Tower, (Typical) Open Circuit, 296 TON	1	3	10204782	
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 5 TON	1	11	10204853	
D3030	Roof	Fair	Split System, Condensing Unit/Heat Pump, 2 TON	1	3	10204964	
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 5 TON	1	11	10204963	
D3030	Roof	Good	Split System Ductless, Single Zone, 1.5 TON	1	13	10204868	
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted, 5 TON	1	11	10204786	
D3030	Chiller Room	Fair	Chiller, Water-Cooled, 400 TON [CH 1]	1	3	10204996	
D3050	AHU 567	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 2400 CFM [AHU 7]	1	3	10204991	
D3050	Boiler Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 25 HP	1	9	10204869	
D3050	Auditorium	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 6000 CFM [AHU 12]	1	4	10204847	
D3050	Pump Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	11	10204900	
D3050	Auditorium	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 6000 CFM [AHU 13]	1	4	10204980	
D3050	M205	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 4000 CFM [AHU 9]	1	3	10204865	
D3050	AHU Room	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 4000 CFM [AHU 5]	1	3	10204923	
D3050	Mechanical Room	Fair	Fan Coil Unit, Hydronic Terminal, 4000 CFM	1	11	10204942	
D3050	Throughout Building	Fair	HVAC System, Ductwork w/ VAV/FCU, Medium Density	161,039	SF	16	10204893
D3050	Throughout Building	Fair	HVAC System, Hydronic Piping, 4-Pipe	322,078	SF	16	10204970
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted, 8 TON	1	9	10204931	
D3050	Pump Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 10 HP	1	9	10204873	
D3050	M102	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 2400 CFM [AHU 2]	1	3	10204915	

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UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D3050	Mechanical Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	11	10204989
D3050	Chiller Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	9	10205003
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	161,039 SF	16	10204948
D3050	M101	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 2400 CFM [AHU 3]	1	3	10204929
D3050	Pump Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	11	10204993
D3050	Boiler Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	8	10204823
D3050	Throughout Building	Fair	Fan Coil Unit, Hydronic Terminal, 1801 to 2500 CFM	150	10	10204801
D3050	M207	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 4000 CFM [AHU 16]	1	3	10204821
D3050	Boiler Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	20	8	10204771
D3050	Boiler Room	Fair	Supplemental Components, Air Separator, HVAC, 2 IN	1	7	10204902
D3050	Boiler Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	8	10204816
D3050	M203	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 2400 CFM [AHU 10]	1	3	10204792
D3050	Mechanical Room	Fair	Supplemental Components, Air Separator, HVAC, 4 IN	1	9	10204857
D3050	M103	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 2400 CFM [AHU 1]	1	3	10204861
D3050	M100	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 11000 CFM [AHU 4]	1	5	10204785
D3050	Pump Room	Fair	Pump, Distribution, HVAC Chilled or Condenser Water, 20 HP	1	9	10204836
D3050	AHU 567	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 4000 CFM [AHU 6]	1	3	10204802
D3050	Auditorium	Fair	Air Handler, Interior AHU, Easy/Moderate Access, 4000 CFM [AHU 14]	1	3	10204777
D3060	M202	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 4]	1	3	10204956
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204936
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	3	10204794
D3060	M200	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 6]	1	3	10204921
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204772
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204835
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-33]	1	12	10204862

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UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204807
D3060	E235	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 9]	1	3	10204856
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM	1	11	10204930
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-18]	1	10	10204913
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10205001
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204919
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-03]	1	11	10204851
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10204788
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-46]	1	10	10204968
D3060	M201	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 5]	1	3	10204806
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-32]	1	12	10204874
D3060	Mechanical Room	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 1]	1	3	10204814
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-33]	1	12	10204917
D3060	Locker Rooms	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 1]	1	3	10204833
D3060	M206	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 7]	1	3	10204825
D3060	Roof	Good	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-63]	1	19	10204978
D3060	Roof	Fair	Exhaust Fan, Centrifugal, 28" Damper, 8500 CFM	1	4	10205002
D3060	Boiler Room	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 2]	1	3	10204897
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM	1	10	10204888
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-14]	1	9	10204899
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 36"Damper, 15000 CFM	1	13	10204951
D3060	Mechanical Room 26	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 8]	1	3	10204845
D3060	Roof	Fair	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, 1000 CFM [F-2]	1	10	10204879
D3060	M208	Fair	Air Handler, Outside Air Intake Energy Recovery Unit (ERU) [ERU 8]	1	3	10204920

Fire Protection

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UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	322,078 SF	11	10204988
Electrical						
D5010	Main Electrical Room	Fair	Generator, Diesel, 80 KW	1	9	10204770
D5010	Main Electrical Room	Fair	Automatic Transfer Switch, ATS, 200 AMP	1	4	10204971
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	11	10204962
D5020	Electrical Room	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204843
D5020	E201	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	16	10204849
D5020	Utility Rooms/Areas	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	16	10204855
D5020	Boiler Room	Fair	Distribution Panel, 277/480 V, 400 AMP	1	5	10204984
D5020	Main Electrical Room	Fair	Distribution Panel, 277/480 V, 1200 AMP	1	4	10204804
D5020	E200	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	16	10204791
D5020	E101	Fair	Secondary Transformer, Dry, Stepdown, 15 KVA	1	8	10204841
D5020	Electrical Room	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204949
D5020	E108	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204830
D5020	Main Electrical Room	Fair	Switchboard, 277/480 V, 2000 AMP	1	14	10204880
D5020	E200	Fair	Distribution Panel, 120/208 V, 400 AMP	1	16	10204839
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 300 KVA	1	16	10205004
D5020	Main Electrical Room	Fair	Switchboard, 277/480 V, 2000 AMP	1	14	10204844
D5020	Boiler Room	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	15	10205009
D5020	S106	Fair	Secondary Transformer, Dry, Stepdown, 112.5 KVA	1	10	10204877
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	16	10204815
D5020	Boiler Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	9	10205005
D5020	E101	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	8	10205006
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	11	10204912
D5020	M208	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	16	10204889

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D5020	Main Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 112.5 KVA	1	9	10204885
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 15 KVA	1	11	10204955
D5020	M208	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	16	10204793
D5020	M206	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	11	10204798
D5020	E105	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	11	10204898
D5020	Electrical Room	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204834
D5020	Boiler Room	Fair	Distribution Panel, 120/208 V, 400 AMP	1	6	10204892
D5020	Main Electrical Room	Fair	Distribution Panel, 277/480 V, 1200 AMP	1	4	10204846
D5020	M208	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204997
D5020	M262	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	11	10204924
D5020	S106	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204778
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	16	10204953
D5020	E108	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	12	10204870
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 30 KVA	1	16	10204787
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	16	10204976
D5020	Boiler Room	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204969
D5020	E101	Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	10204928
D5020	Boiler Room	Fair	Secondary Transformer, Dry, Stepdown, 15 KVA	1	16	10204927
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 45 KVA	1	11	10204979
D5020	Electrical Room	Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	15	10204932
D5020	Mechanical Room	Fair	Secondary Transformer, Dry, Stepdown, 30 KVA	1	16	10204863
D5030	M100	Fair	Variable Frequency Drive, VFD, by HP of Motor, 20 HP, Replace/Install	1	11	10204933
D5030	AHU 567	Fair	Variable Frequency Drive, VFD, by HP of Motor, 7.5 HP, Replace/Install	1	4	10204811
D5030	M102	Fair	Variable Frequency Drive, VFD, by HP of Motor, 5 HP, Replace/Install	1	7	10204914
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	322,078 SF	17	10204783

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
D5040	Gymnasium	Good	High Intensity Discharge (HID) Fixtures, Metal Halide, Gymnasium Lighting, 400 W	16	11	10204950
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	322,078 SF	12	10204813
D5040	Auditorium	Good	Stage Lighting System, Full Upgrade, Specialty Fixtures	150 SF	16	10204967
D5040	Gymnasium	Fair	High Intensity Discharge (HID) Fixtures, Metal Halide, Gymnasium Lighting, 400 W	16	11	10204973
D5040	Throughout Building	Good	Emergency & Exit Lighting System, Full Interior Upgrade, LED	322,078 SF	9	10204982
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Good	Intercom/PA System, Public Address Upgrade, Facility-Wide	322,078 SF	21	10204776
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	322,078 SF	2	10204972
D7050	Main Electrical Room	Fair	Fire Alarm Panel, Fully Addressable	1	4	10204867
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	322,078 SF	11	10204842
D8010	Throughout Building	Good	BAS/HVAC Controls, Basic System or Legacy Upgrades, Upgrade/Install	322,078 SF	11	10204840
Equipment & Furnishings						
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	2 LF	3	10204780
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	8	10204779
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	2 LF	3	10204774
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	8	10204784
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	8	10204890
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Walk-In, Freezer	1	11	10204904
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	7	10204987
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Walk-In, Refrigerator	1	11	10204769
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	4 LF	3	10204866
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Commercial Kitchen, 2-Bowl	1	16	10204797
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Exhaust Hood, 8 to 10 LF	1	9	10204945
E1030	Roof	Fair	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer	1	9	10204995
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	2 LF	3	10204905

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	9	10204941
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	10	10204832
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	8	10204922
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	9	10204957
E1030	Commercial Kitchen	Good	Foodservice Equipment, Convection Oven, Single	1	8	10204974
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	4 LF	10	10204944
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Range, 2-Burner	1	8	10204878
E1030	Commercial Kitchen	Good	Foodservice Equipment, Exhaust Hood, 8 to 10 LF	1	11	10204860
E1030	Throughout Building	Fair	Foodservice Equipment, Commercial Kitchen, 1-Bowl	1	16	10204906
E1030	Commercial Kitchen	Good	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4)	1	11	10204946
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Icemaker, Freestanding	1	10	10204852
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Commercial Kitchen, 3-Bowl	1	19	10204859
E1030	Roof	Fair	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer	1	10	10204896
E1030	Commercial Kitchen	Fair	Foodservice Equipment, Refrigerator, 4-Door Reach-In	1	10	10204817
E1030	Commercial Kitchen	Fair	Commercial Kitchen Line, Serving/Warming Equipment	4 LF	3	10204939
E1030	Concession	Fair	Foodservice Equipment, Icemaker, Freestanding	1	9	10204767
E1030	Concession	Fair	Foodservice Equipment, Commercial Kitchen, 3-Bowl	1	16	10204766
E1040	Classrooms Science	Fair	Laboratory Equipment, Sink, 1-Bowl	42	18	10204837
E1070	Gymnasium	Fair	Gym Scoreboard, Electronic Basic	1	12	10204781
E1070	Auditorium	Good	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour	500 SF	12	10204810
E1070	Gymnasium	Fair	Basketball Backboard, Ceiling-Mounted, Operable	6	16	10204925
E1070	Gymnasium	Fair	Basketball Backboard, Ceiling-Mounted, Operable	12	16	10204827
E1070	Gymnasium	Fair	Gym Scoreboard, Electronic Basic	1	16	10204954
E2010	Library	Fair	Library Shelving, Single-Faced, up to 90" Height	30 LF	11	10204891
E2010	Gymnasium	Fair	Bleachers, Telescoping Power-Operated, 16 to 30 Tier (per Seat)	100	11	10204808

Component Condition Report | Winston Churchill High School / Main Building

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	2,000 LF	11	10204838
E2010	Library	Fair	Library Shelving, Double-Faced, up to 90" Height	25 LF	11	10204829
E2010	Auditorium	Good	Fixed Seating, Auditorium/Theater, Metal Cushioned Deluxe	500	15	10204790
E2010	Throughout Building	Fair	Casework, Countertop, Plastic Laminate	1,500 LF	10	10204992
Sitework						
G4050	Building Exterior	Fair	Site Lighting, Wall Pack or Walkway Pole-Mounted, any type w/ LED, 105 WATT	1	9	10204854
G4050	Building Exterior	Good	Site Lighting, Wall Pack or Walkway Pole-Mounted, any type w/ LED, 105 WATT	6	16	10205000
Follow-up Studies						
P2030	Substructure	NA	Engineering Study, Structural, Foundation, Evaluate/Report	1	0	10204881

Component Condition Report | Winston Churchill High School / Site

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
Structure						
B1010	Building Exterior	Fair	Exterior Ramp, Wood	200 SF	8	10204737
Equipment & Furnishings						
E2010	Site Sports Fields & Courts	Good	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	10	18	10204765
E2010	Site Sports Fields & Courts	Fair	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	10	11	10204757
E2010	Site Sports Fields & Courts	Fair	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	10	16	10204747
E2010	Site Sports Fields & Courts	Fair	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	10	16	10204763
E2010	Site Sports Fields & Courts	Fair	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	20	17	10204755
E2010	Site Sports Fields & Courts	Fair	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat)	1,500	16	10204756
Special Construction & Demo						
F1020	Site Sports Fields & Courts	Good	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal	25 SF	25	10204728
F1020	Site Sports Fields & Courts	Fair	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal	50 SF	12	10204741
F1020	Site General	Fair	Ancillary Building, Classroom/Office Module, Standard/Permanent	1,500 SF	18	10204748

Component Condition Report | Winston Churchill High School / Site

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
F1020	Site General	Fair	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal	125 SF	14	10204739
F1020	Site Sports Fields & Courts	Fair	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal	75 SF	16	10204762
F1020	Site General	Fair	Ancillary Building, Classroom/Office Module, Standard/Permanent	1,500 SF	16	10204760
F1020	Site General	Fair	Ancillary Building, Wood-Framed or CMU, Basic/Minimal	1,200 SF	21	10204745
F1020	Site Sports Fields & Courts	Fair	Ancillary Building, Wood-Framed or CMU, Basic/Minimal	500 SF	21	10204734
F1020	Site Sports Fields & Courts	Good	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Standard	50 SF	22	10204761
Pedestrian Plazas & Walkways						
G2020	Site Parking Areas	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	160,000 SF	7	10204751
G2020	Site Parking Areas	Fair	Parking Lots, Pavement, Asphalt, Seal & Stripe	160,000 SF	3	10204733
Athletic, Recreational & Playfield Areas						
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Football, Goal Post	2	16	10204750
G2050	Site Sports Fields & Courts	Fair	Athletic Surfaces & Courts, Tennis/Volleyball, 2-Color Surface, Seal & Stripe	38,584 SF	7	10204731
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Player/Dugout Benches, 12' Length	4	8	10204730
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Player/Dugout Benches, 12' Length	1	8	10204759
G2050	Site Sports Fields & Courts	Fair	Athletic Surfaces & Courts, Track Surface, Rubber	40,000 SF	6	10204764
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Player/Dugout Benches, 12' Length	1	8	10204754
G2050	Site Sports Fields & Courts	Good	Sports Apparatus, Soccer, Movable Practice Goal	2	12	10204746
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Scoreboard, Electronic Basic	1	16	10204753
G2050	Site Sports Fields & Courts	Fair	Outdoor Spectator Seating, Bleachers, Aluminum Benches (per Seat)	15	16	10204736
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Player/Dugout Benches, 12' Length	1	8	10204742
G2050	Site Sports Fields & Courts	Good	Sports Apparatus, Baseball, Batting Cage	1	11	10204740
G2050	Site Sports Fields & Courts	Good	Sports Apparatus, Scoreboard, Electronic Basic	1	19	10204758
G2050	Site Sports Fields & Courts	Fair	Sports Site Lighting, Stadium, Clustered	4	31	10204732
G2050	Site Sports Fields & Courts	Fair	Sports Apparatus, Scoreboard, Electronic Basic	1	16	10204752
Sitework						

Component Condition Report | Winston Churchill High School / Site

UF L3 Code	Location	Condition	Component/Attributes/Capacity	Quantity	RUL	ID
G2060	Building Exterior	Good	Fences & Gates, Fence, Wrought Iron 4'	150 LF	41	10204749
G2060	Site Sports Fields & Courts	Good	Fences & Gates, Fence, Chain Link 4'	1,000 LF	31	10204743
G2060	Site General	Fair	Park Bench, Metal Powder-Coated	6	11	10204735
G2060	Building Exterior	Good	Signage, Property, Monument, Replace/Install	1	15	10204744
G2060	Site General	Fair	Picnic Table, Metal Powder-Coated	1	11	10204727
G2060	Site Sports Fields & Courts	Good	Fences & Gates, Fence, Chain Link 8'	1,109 LF	31	10204729
G4050	Site Parking Areas	Good	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, 400 WATT, Replace/Install	12	15	10204738

Appendix F: Replacement Reserves



Replacement Reserves Report



3/30/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	Age	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
D3050	AHU 567	10204802	Air Handler, Interior AHU, Easy/Moderate Access, Replace	25	22	3	1	EA	\$22,000.00	\$22,000				\$22,000																	\$22,000	
D3050	Auditorium	10204777	Air Handler, Interior AHU, Easy/Moderate Access, Replace	25	22	3	1	EA	\$22,000.00	\$22,000				\$22,000																	\$22,000	
D3050	Auditorium	10204847	Air Handler, Interior AHU, Easy/Moderate Access, Replace	30	26	4	1	EA	\$31,000.00	\$31,000					\$31,000																\$31,000	
D3050	Auditorium	10204980	Air Handler, Interior AHU, Easy/Moderate Access, Replace	30	26	4	1	EA	\$31,000.00	\$31,000					\$31,000																\$31,000	
D3050	M100	10204785	Air Handler, Interior AHU, Easy/Moderate Access, Replace	30	25	5	1	EA	\$70,000.00	\$70,000						\$70,000															\$70,000	
D3050	Roof	10204931	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	11	9	1	EA	\$20,000.00	\$20,000										\$20,000											\$20,000	
D3050	Throughout Building	10204801	Fan Coil Unit, Hydronic Terminal, 1801 to 2500 CFM, Replace	20	10	10	150	EA	\$4,880.00	\$732,000											\$732,000										\$732,000	
D3050	Mechanical Room	10204942	Fan Coil Unit, Hydronic Terminal, Replace	20	9	11	1	EA	\$7,750.00	\$7,750												\$7,750									\$7,750	
D3050	Throughout Building	10204893	HVAC System, Ductwork w/ VAV/FCU, Medium Density, Replace	30	14	16	161039	SF	\$6.00	\$966,234																\$966,234					\$966,234	
D3050	Throughout Building	10204948	HVAC System, Ductwork, Medium Density, Replace	30	14	16	161039	SF	\$4.00	\$644,156																\$644,156					\$644,156	
D3060	Roof	10204794	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	22	3	1	EA	\$4,000.00	\$4,000				\$4,000																	\$4,000	
D3060	Roof	10204936	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204772	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204835	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204807	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10205001	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204919	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204788	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10205002	Exhaust Fan, Centrifugal, 28" Damper, Replace	25	21	4	1	EA	\$4,000.00	\$4,000					\$4,000																\$4,000	
D3060	Roof	10204899	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	11	9	1	EA	\$1,400.00	\$1,400										\$1,400											\$1,400	
D3060	Roof	10204913	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	10	10	1	EA	\$1,400.00	\$1,400											\$1,400										\$1,400	
D3060	Roof	10204968	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	10	10	1	EA	\$1,400.00	\$1,400											\$1,400										\$1,400	
D3060	Roof	10204888	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	10	10	1	EA	\$1,400.00	\$1,400											\$1,400										\$1,400	
D3060	Roof	10204879	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	10	10	1	EA	\$1,400.00	\$1,400											\$1,400										\$1,400	
D3060	Roof	10204930	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	9	11	1	EA	\$1,400.00	\$1,400												\$1,400									\$1,400	
D3060	Roof	10204851	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	9	11	1	EA	\$1,400.00	\$1,400												\$1,400									\$1,400	
D3060	Roof	10204862	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	8	12	1	EA	\$1,400.00	\$1,400													\$1,400								\$1,400	
D3060	Roof	10204874	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	8	12	1	EA	\$1,400.00	\$1,400													\$1,400								\$1,400	
D3060	Roof	10204917	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	8	12	1	EA	\$1,400.00	\$1,400													\$1,400								\$1,400	
D3060	Roof	10204951	Exhaust Fan, Roof or Wall-Mounted, 36" Damper, Replace	20	7	13	1	EA	\$5,600.00	\$5,600														\$5,600							\$5,600	
D3060	Roof	10204978	Exhaust Fan, Roof or Wall-Mounted, 12" Damper, Replace	20	1	19	1	EA	\$1,400.00	\$1,400																		\$1,400			\$1,400	
D3060	M202	10204956	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	M200	10204921	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	E235	10204856	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	M201	10204806	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	Mechanical Room	10204814	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	Locker Rooms	10204833	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	M206	10204825	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	Boiler Room	10204897	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	Mechanical Room 26	10204845	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D3060	M208	10204920	Air Handler, Outside Air Intake Energy Recovery Unit (ERU), Replace	20	17	3	1	EA	\$33,000.00	\$33,000				\$33,000																	\$33,000	
D4010	Throughout Building	10204988	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	14	11	322078	SF	\$1.07	\$344,623											\$344,623										\$344,623	
D5010	Main Electrical Room	10204770	Generator, Diesel, Replace	25	16	9	1	EA	\$40,000.00	\$40,000										\$40,000											\$40,000	
D5010	Main Electrical Room	10204971	Automatic Transfer Switch, ATS, Replace	25	21	4	1	EA	\$12,000.00	\$12,000					\$12,000																\$12,000	
D5020	E101	10204841	Secondary Transformer, Dry, Stepdown, Replace	30	22	8	1	EA	\$6,000.00	\$6,000									\$6,000												\$6,000	
D5020	E101	10205006	Secondary Transformer, Dry, Stepdown, Replace	30	22	8	1	EA	\$10,000.00	\$10,000									\$10,000												\$10,000	
D5020	Boiler Room	10205005	Secondary Transformer, Dry, Stepdown, Replace	30	21	9	1	EA	\$7,600.00	\$7,600										\$7,600											\$7,600	
D5020	Main Electrical Room	10204885	Secondary Transformer, Dry, Stepdown, Replace	30	21	9	1	EA	\$16,000.00	\$16,000										\$16,000											\$16,000	
D5020	S106	10204877	Secondary Transformer, Dry, Stepdown, Replace	30	20	10	1	EA	\$16,000.00	\$16,000											\$16,000										\$16,000	
D5020	Electrical Room	102049																														

Replacement Reserves Report



3/30/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EA	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
D5020	M206	10204798	Secondary Transformer, Dry, Stepdown, Replace	30	19	11	1	EA	\$7,600.00	\$7,600												\$7,600									\$7,600	
D5020	E105	10204898	Secondary Transformer, Dry, Stepdown, Replace	30	19	11	1	EA	\$10,000.00	\$10,000												\$10,000									\$10,000	
D5020	M262	10204924	Secondary Transformer, Dry, Stepdown, Replace	30	19	11	1	EA	\$7,600.00	\$7,600												\$7,600									\$7,600	
D5020	Electrical Room	10204979	Secondary Transformer, Dry, Stepdown, Replace	30	19	11	1	EA	\$7,600.00	\$7,600												\$7,600									\$7,600	
D5020	E108	10204870	Secondary Transformer, Dry, Stepdown, Replace	30	18	12	1	EA	\$10,000.00	\$10,000													\$10,000								\$10,000	
D5020	Main Electrical Room	10204880	Switchboard, 277/480 V, Replace	40	26	14	1	EA	\$90,000.00	\$90,000															\$90,000						\$90,000	
D5020	Main Electrical Room	10204844	Switchboard, 277/480 V, Replace	40	26	14	1	EA	\$90,000.00	\$90,000															\$90,000						\$90,000	
D5020	Boiler Room	10205009	Secondary Transformer, Dry, Stepdown, Replace	30	15	15	1	EA	\$10,000.00	\$10,000															\$10,000						\$10,000	
D5020	Electrical Room	10204932	Secondary Transformer, Dry, Stepdown, Replace	30	15	15	1	EA	\$10,000.00	\$10,000															\$10,000						\$10,000	
D5020	E201	10204849	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$7,600.00	\$7,600																	\$7,600				\$7,600	
D5020	Utility Rooms/Areas	10204855	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$10,000.00	\$10,000																	\$10,000				\$10,000	
D5020	E200	10204791	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$10,000.00	\$10,000																	\$10,000				\$10,000	
D5020	Electrical Room	10205004	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$30,000.00	\$30,000																	\$30,000				\$30,000	
D5020	Electrical Room	10204815	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$7,600.00	\$7,600																	\$7,600				\$7,600	
D5020	M208	10204889	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$7,600.00	\$7,600																	\$7,600				\$7,600	
D5020	M208	10204793	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$10,000.00	\$10,000																	\$10,000				\$10,000	
D5020	Electrical Room	10204953	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$7,600.00	\$7,600																	\$7,600				\$7,600	
D5020	Electrical Room	10204787	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$6,700.00	\$6,700																	\$6,700				\$6,700	
D5020	Electrical Room	10204976	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$7,600.00	\$7,600																	\$7,600				\$7,600	
D5020	Boiler Room	10204927	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$6,000.00	\$6,000																	\$6,000				\$6,000	
D5020	Mechanical Room	10204863	Secondary Transformer, Dry, Stepdown, Replace	30	14	16	1	EA	\$6,700.00	\$6,700																	\$6,700				\$6,700	
D5020	Main Electrical Room	10204804	Distribution Panel, 277/480 V, Replace	30	26	4	1	EA	\$14,000.00	\$14,000					\$14,000																\$14,000	
D5020	Main Electrical Room	10204846	Distribution Panel, 277/480 V, Replace	30	26	4	1	EA	\$14,000.00	\$14,000					\$14,000																\$14,000	
D5020	Electrical Room	10204843	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	Boiler Room	10204984	Distribution Panel, 277/480 V, Replace	30	25	5	1	EA	\$5,300.00	\$5,300						\$5,300															\$5,300	
D5020	Electrical Room	10204949	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	E108	10204830	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	Electrical Room	10204834	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	M208	10204997	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	S106	10204778	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	Boiler Room	10204969	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	E101	10204928	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	
D5020	Boiler Room	10204892	Distribution Panel, 120/208 V, Replace	30	24	6	1	EA	\$6,000.00	\$6,000							\$6,000														\$6,000	
D5020	E200	10204839	Distribution Panel, 120/208 V, Replace	30	14	16	1	EA	\$6,000.00	\$6,000																	\$6,000				\$6,000	
D5030	Throughout Building	10204783	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	23	17	322078	SF	\$2.50	\$805,195																		\$805,195			\$805,195	
D5030	AHU 567	10204811	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	16	4	1	EA	\$6,200.00	\$6,200					\$6,200																\$6,200	
D5030	M102	10204914	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	13	7	1	EA	\$5,300.00	\$5,300							\$5,300														\$5,300	
D5030	M100	10204933	Variable Frequency Drive, VFD, by HP of Motor, Replace/Install	20	9	11	1	EA	\$10,000.00	\$10,000												\$10,000									\$10,000	
D5040	Throughout Building	10204982	Emergency & Exit Lighting System, Full Interior Upgrade, LED, Replace	10	1	9	322078	SF	\$0.65	\$209,351										\$209,351								\$209,351			\$418,701	
D5040	Gymnasium	10204950	High Intensity Discharge (HID) Fixtures, Metal Halide, Gymnasium Lighting, 400 W, Replace	20	9	11	16	EA	\$1,700.00	\$27,200												\$27,200									\$27,200	
D5040	Gymnasium	10204973	High Intensity Discharge (HID) Fixtures, Metal Halide, Gymnasium Lighting, 400 W, Replace	20	9	11	16	EA	\$1,700.00	\$27,200												\$27,200									\$27,200	
D5040	Throughout Building	10204813	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	8	12	322078	SF	\$5.00	\$1,610,390												\$1,610,390									\$1,610,390	
D5040	Auditorium	10204967	Stage Lighting System, Full Upgrade, Specialty Fixtures, Replace	20	4	16	150	SF	\$30.00	\$4,500																\$4,500				\$4,500		
D7030	Throughout Building	10204972	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	13	2	322078	SF	\$2.00	\$644,156			\$644,156														\$644,156				\$1,288,312	
D7050	Main Electrical Room	10204867	Fire Alarm Panel, Fully Addressable, Replace	15	11	4	1	EA	\$15,000.00	\$15,000					\$15,000													\$15,000			\$30,000	
D7050	Throughout Building	10204842	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	9	11	322078	SF	\$3.00	\$966,234												\$966,234									\$966,234	
D8010	Throughout Building	10204840	BAS/HVAC Controls, Basic System or Legacy Upgrades, Upgrade/Install	15	4	11	322078	SF	\$2.50	\$805,195												\$805,195									\$805,195	
E1030	Commercial Kitchen	10204780	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	17	3	2	LF	\$1,000.00	\$2,000				\$2,000																\$2,000		
E1030	Commercial Kitchen	10204774	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	17	3	2	LF	\$1,000.00	\$2,000				\$2,000																\$2,000		
E1030	Commercial Kitchen	10204866	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	17	3	4	LF	\$1,000.00	\$4,000																						

Replacement Reserves Report



3/30/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
E1030	Commercial Kitchen	10204987	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	8	7	1	EA	\$4,600.00	\$4,600								\$4,600													\$4,600	
E1030	Commercial Kitchen	10204779	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	7	8	1	EA	\$5,700.00	\$5,700									\$5,700												\$5,700	
E1030	Commercial Kitchen	10204784	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	7	8	1	EA	\$5,700.00	\$5,700									\$5,700												\$5,700	
E1030	Commercial Kitchen	10204890	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	7	8	1	EA	\$1,700.00	\$1,700									\$1,700												\$1,700	
E1030	Commercial Kitchen	10204922	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	7	8	1	EA	\$5,700.00	\$5,700									\$5,700												\$5,700	
E1030	Commercial Kitchen	10204974	Foodservice Equipment, Convection Oven, Single, Replace	10	2	8	1	EA	\$5,600.00	\$5,600									\$5,600									\$5,600			\$11,200	
E1030	Commercial Kitchen	10204878	Foodservice Equipment, Range, 2-Burner, Replace	15	7	8	1	EA	\$1,700.00	\$1,700									\$1,700												\$1,700	
E1030	Commercial Kitchen	10204945	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	6	9	1	EA	\$4,500.00	\$4,500										\$4,500											\$4,500	
E1030	Roof	10204995	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer, Replace	15	6	9	1	EA	\$6,300.00	\$6,300										\$6,300											\$6,300	
E1030	Commercial Kitchen	10204941	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	6	9	1	EA	\$1,700.00	\$1,700										\$1,700											\$1,700	
E1030	Commercial Kitchen	10204957	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	6	9	1	EA	\$5,700.00	\$5,700										\$5,700											\$5,700	
E1030	Concession	10204767	Foodservice Equipment, Ice-maker, Freestanding, Replace	15	6	9	1	EA	\$6,700.00	\$6,700										\$6,700											\$6,700	
E1030	Commercial Kitchen	10204832	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	5	10	1	EA	\$4,600.00	\$4,600											\$4,600										\$4,600	
E1030	Commercial Kitchen	10204944	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	10	10	4	LF	\$1,000.00	\$4,000											\$4,000										\$4,000	
E1030	Commercial Kitchen	10204852	Foodservice Equipment, Ice-maker, Freestanding, Replace	15	5	10	1	EA	\$6,700.00	\$6,700											\$6,700										\$6,700	
E1030	Roof	10204896	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer, Replace	15	5	10	1	EA	\$6,300.00	\$6,300											\$6,300										\$6,300	
E1030	Commercial Kitchen	10204817	Foodservice Equipment, Refrigerator, 4-Door Reach-In, Replace	15	5	10	1	EA	\$7,300.00	\$7,300											\$7,300										\$7,300	
E1030	Commercial Kitchen	10204904	Foodservice Equipment, Walk-In, Freezer, Replace	20	9	11	1	EA	\$25,000.00	\$25,000												\$25,000									\$25,000	
E1030	Commercial Kitchen	10204769	Foodservice Equipment, Walk-In, Refrigerator, Replace	20	9	11	1	EA	\$15,000.00	\$15,000												\$15,000									\$15,000	
E1030	Commercial Kitchen	10204860	Foodservice Equipment, Exhaust Hood, 8 to 10 LF, Replace	15	4	11	1	EA	\$4,500.00	\$4,500												\$4,500									\$4,500	
E1030	Commercial Kitchen	10204946	Foodservice Equipment, Food Warmer, Tabletop Drawers (Set of 4), Replace	15	4	11	1	EA	\$5,700.00	\$5,700												\$5,700									\$5,700	
E1030	Commercial Kitchen	10204797	Foodservice Equipment, Commercial Kitchen, 2-Bowl, Replace	30	14	16	1	EA	\$2,100.00	\$2,100																	\$2,100				\$2,100	
E1030	Throughout Building	10204906	Foodservice Equipment, Commercial Kitchen, 1-Bowl, Replace	30	14	16	1	EA	\$1,600.00	\$1,600																	\$1,600				\$1,600	
E1030	Concession	10204766	Foodservice Equipment, Commercial Kitchen, 3-Bowl, Replace	30	14	16	1	EA	\$2,500.00	\$2,500																	\$2,500				\$2,500	
E1030	Commercial Kitchen	10204859	Foodservice Equipment, Commercial Kitchen, 3-Bowl, Replace	30	11	19	1	EA	\$2,500.00	\$2,500																			\$2,500		\$2,500	
E1040	Classrooms Science	10204837	Laboratory Equipment, Sink, 1-Bowl, Replace	30	12	18	42	EA	\$1,725.00	\$72,450																		\$72,450			\$72,450	
E1070	Auditorium	10204810	Theater & Stage Equipment, Flameproof Curtain, Medium Weight Velour, Replace	15	3	12	500	SF	\$13.00	\$6,500													\$6,500								\$6,500	
E1070	Gymnasium	10204781	Gym Scoreboard, Electronic Basic, Replace	30	18	12	1	EA	\$1,700.00	\$1,700													\$1,700								\$1,700	
E1070	Gymnasium	10204925	Basketball Backboard, Ceiling-Mounted, Operable	30	14	16	6	EA	\$7,830.00	\$46,980																		\$46,980			\$46,980	
E1070	Gymnasium	10204827	Basketball Backboard, Ceiling-Mounted, Operable	30	14	16	12	EA	\$7,830.00	\$93,960																		\$93,960			\$93,960	
E1070	Gymnasium	10204954	Gym Scoreboard, Electronic Basic, Replace	30	14	16	1	EA	\$1,700.00	\$1,700																	\$1,700				\$1,700	
E2010	Throughout Building	10204992	Casework, Countertop, Plastic Laminate, Replace	15	5	10	1500	LF	\$50.00	\$75,000											\$75,000										\$75,000	
E2010	Library	10204891	Library Shelving, Single-Faced, up to 90" Height, Replace	20	9	11	30	LF	\$330.00	\$9,900												\$9,900									\$9,900	
E2010	Throughout Building	10204838	Casework, Cabinetry, Standard, Replace	20	9	11	2000	LF	\$300.00	\$600,000												\$600,000									\$600,000	
E2010	Library	10204829	Library Shelving, Double-Faced, up to 90" Height, Replace	20	9	11	25	LF	\$480.00	\$12,000												\$12,000									\$12,000	
E2010	Gymnasium	10204808	Bleachers, Telescoping Power-Operated, 16 to 30 Tier (per Seat), Replace	20	9	11	100	EA	\$750.00	\$75,000												\$75,000									\$75,000	
E2010	Auditorium	10204790	Fixed Seating, Auditorium/Theater, Metal Cushioned Deluxe, Replace	20	5	15	500	EA	\$500.00	\$250,000																\$250,000					\$250,000	
G4050	Building Exterior	10204854	Site Lighting, Wall Pack or Walkway Pole-Mounted, any type w/ LED, Replace	20	11	9	1	EA	\$800.00	\$800										\$800											\$800	
G4050	Building Exterior	10205000	Site Lighting, Wall Pack or Walkway Pole-Mounted, any type w/ LED, Replace	20	4	16	6	EA	\$800.00	\$4,800																	\$4,800				\$4,800	
P2030	Substructure	10204881	Engineering Study, Structural, Foundation, Evaluate/Report	0	35	* 0	1	EA	\$7,000.00	\$7,000		\$7,000																			\$7,000	
Totals, Unescalated											\$0	\$1,627,990	\$644,156	\$1,504,400	\$2,719,646	\$123,300	\$175,050	\$837,360	\$538,340	\$1,186,345	\$894,200	\$6,723,482	\$1,640,290	\$10,400	\$441,000	\$280,700	\$7,672,504	\$1,514,151	\$261,950	\$969,651	\$30,000	\$29,794,915
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$1,676,830	\$683,385	\$1,643,898	\$3,060,986	\$142,938	\$209,019	\$1,029,847	\$681,953	\$1,547,911	\$1,201,730	\$9,306,872	\$2,338,661	\$15,273	\$667,052	\$437,321	\$12,312,117	\$2,502,661	\$445,952	\$1,700,288	\$54,183	\$41,658,878

Winston Churchill High School / Site

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
B1010	Building Exterior	10204737	Exterior Ramp, Wood, Replace	15	7	8	200	SF	\$11.00	\$2,200									\$2,200												\$2,200	
E2010	Site Sports Fields & Courts	10204757	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat), Replace	25	14	11	10	EA	\$120.00	\$1,200											\$1,200										\$1,200	
E2010	Site Sports Fields & Courts	10204747	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat), Replace	25	9	16	10	EA	\$120.00	\$1,200																\$1,200					\$1,200	
E2010	Site Sports Fields & Courts	10204763	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat), Replace	25	9	16	10	EA	\$120.00	\$1,200																\$1,200					\$1,200	
E2010	Site Sports Fields & Courts	10204756	Bleachers, Fixed Steel Frame, Aluminum Benches (per Seat), Replace	25	9	16	1500	EA	\$120.00	\$180,000																\$180,000					\$180,000	
E2010	Site Sports Fields & Courts	102																														

Replacement Reserves Report



3/30/2026

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate		
F1020	Site General	10204739	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal, Replace	30	16	14	125	SF	\$25.00	\$3,125															\$3,125							\$3,125		
F1020	Site Sports Fields & Courts	10204762	Shed/Gazebo/Shade Structure, Wood or Metal-Framed, Basic/Minimal, Replace	30	14	16	75	SF	\$25.00	\$1,875																	\$1,875					\$1,875		
F1020	Site General	10204760	Ancillary Building, Classroom/Office Module, Standard/Permanent, Replace	35	19	16	1500	SF	\$200.00	\$300,000																\$300,000						\$300,000		
F1020	Site General	10204748	Ancillary Building, Classroom/Office Module, Standard/Permanent, Replace	35	17	18	1500	SF	\$200.00	\$300,000																		\$300,000				\$300,000		
G2020	Site Parking Areas	10204733	Parking Lots, Pavement, Asphalt, Seal & Stripe	5	2	3	160000	SF	\$0.45	\$72,000				\$72,000																		\$72,000		
G2020	Site Parking Areas	10204751	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	18	7	160000	SF	\$3.50	\$560,000							\$560,000																\$560,000	
G2050	Site Sports Fields & Courts	10204764	Athletic Surfaces & Courts, Track Surface, Rubber, Replace	10	4	6	40000	SF	\$5.00	\$200,000						\$200,000										\$200,000							\$200,000	
G2050	Site Sports Fields & Courts	10204731	Athletic Surfaces & Courts, Tennis/Volleyball, 2-Color Surface, Seal & Stripe	10	3	7	38584	SF	\$1.50	\$57,876							\$57,876										\$57,876						\$57,876	
G2050	Site Sports Fields & Courts	10204730	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	7	8	4	EA	\$450.00	\$1,800								\$1,800															\$1,800	
G2050	Site Sports Fields & Courts	10204759	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	7	8	1	EA	\$450.00	\$450									\$450														\$450	
G2050	Site Sports Fields & Courts	10204754	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	7	8	1	EA	\$450.00	\$450									\$450														\$450	
G2050	Site Sports Fields & Courts	10204742	Sports Apparatus, Player/Dugout Benches, 12' Length, Replace	15	7	8	1	EA	\$450.00	\$450									\$450														\$450	
G2050	Site Sports Fields & Courts	10204740	Sports Apparatus, Baseball, Batting Cage, Replace	15	4	11	1	EA	\$1,500.00	\$1,500											\$1,500													\$1,500
G2050	Site Sports Fields & Courts	10204746	Sports Apparatus, Soccer, Movable Practice Goal, Replace	15	3	12	2	EA	\$700.00	\$1,400												\$1,400												\$1,400
G2050	Site Sports Fields & Courts	10204750	Sports Apparatus, Football, Goal Post, Replace	25	9	16	2	EA	\$5,000.00	\$10,000																	\$10,000							\$10,000
G2050	Site Sports Fields & Courts	10204753	Sports Apparatus, Scoreboard, Electronic Basic, Replace	25	9	16	1	EA	\$3,000.00	\$3,000																	\$3,000							\$3,000
G2050	Site Sports Fields & Courts	10204736	Outdoor Spectator Seating, Bleachers, Aluminum Benches (per Seat), Replace	25	9	16	15	EA	\$120.00	\$1,800																	\$1,800							\$1,800
G2050	Site Sports Fields & Courts	10204752	Sports Apparatus, Scoreboard, Electronic Basic, Replace	25	9	16	1	EA	\$3,000.00	\$3,000																	\$3,000							\$3,000
G2050	Site Sports Fields & Courts	10204758	Sports Apparatus, Scoreboard, Electronic Basic, Replace	25	6	19	1	EA	\$3,000.00	\$3,000																			\$3,000					\$3,000
G2060	Site General	10204735	Park Bench, Metal Powder-Coated, Replace	20	9	11	6	EA	\$700.00	\$4,200												\$4,200												\$4,200
G2060	Site General	10204727	Picnic Table, Metal Powder-Coated, Replace	20	9	11	1	EA	\$700.00	\$700												\$700												\$700
G2060	Building Exterior	10204744	Signage, Property, Monument, Replace/Install	20	5	15	1	EA	\$3,000.00	\$3,000															\$3,000									\$3,000
G4050	Site Parking Areas	10204738	Pole Light Fixture w/ Lamps, any type 20' High, w/ LED Replacement, Replace/Install	20	5	15	12	EA	\$4,000.00	\$48,000															\$48,000									\$48,000
Totals, Unescalated											\$0	\$0	\$0	\$72,000	\$0	\$0	\$200,000	\$617,876	\$77,350	\$0	\$0	\$7,600	\$2,650	\$72,000	\$3,125	\$51,000	\$702,075	\$60,276	\$373,200	\$3,000	\$0	\$0	\$2,242,152	
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$78,676	\$0	\$0	\$238,810	\$759,910	\$97,985	\$0	\$0	\$10,520	\$3,778	\$105,734	\$4,727	\$79,456	\$1,126,624	\$99,627	\$635,348	\$5,261	\$0	\$0	\$3,246,457	

* Markup has been included in unit costs.

Appendix G:

Equipment Inventory List

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D10 Conveying													
1	10204809	D1010	Elevator Controls	Automatic, 1 Car		Winston Churchill High School / Main Building	M104	Dover Elevators	NA	NA	2000		
2	10204850	D1010	Passenger Elevator	Hydraulic, 2 Floors	2500 LB	Winston Churchill High School / Main Building	M104	Dover Elevators	EP0602	EL7594	2000		
3	10204795	D1010	Stair Climber Inclined Lift	Wheelchair, per Story		Winston Churchill High School / Main Building	Throughout Building						

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D20 Plumbing													
1	10204800	D2010	Pump	Circulation, Domestic Water	.75 HP	Winston Churchill High School / Main Building	Chiller Room	Bell & Gossett	Inaccessible	Inaccessible	2022		
2	10204907	D2010	Pump	Circulation/Booster, Domestic Water	20 HP	Winston Churchill High School / Main Building	Chiller Room	Trane	Illegible	Illegible			
3	10204895	D2010	Pump Station	Duplex Mounted	5 HP	Winston Churchill High School / Main Building	Chiller Room	TIGERFLOW	NA	NA			
4	10204943	D2010	Water Heater	Electric, Commercial (12 kW)	50 GAL	Winston Churchill High School / Main Building	Mechanical Room	Bradford White	MII-50-9-3SF-009	GH22-2233	2022		
5	10204998	D2010	Water Heater	Electric, Commercial (12 kW)	50 GAL	Winston Churchill High School / Main Building	Storage Room	Hubbell	SE50-3-3SLT4	S3117 S			
6	10204961	D2010	Water Heater	Gas, Commercial (200 MBH)	100 GAL	Winston Churchill High School / Main Building	Boiler Room	A. O. Smith	SBD-100-250NEA 118	2409138007470	2024		
7	10204903	D2010	Water Heater	Gas, Commercial (200 MBH)	100 GAL	Winston Churchill High School / Main Building	Boiler Room	State Industries, Inc.	SBD100250NEA 118	1617M000274	2016		
8	10204820	D2010	Water Heater	Gas, Commercial (200 MBH)	100 GAL	Winston Churchill High School / Main Building	Boiler Room	State Industries, Inc.	SBD100250NEA 118	1604M001773	2016		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
9	10204999	D2010	Water Heater	Gas, Commercial (400 MBH)	100 GAL	Winston Churchill High School / Main Building	Boiler Room	State Industries, Inc.	SBD100250NEA 118	1603M001977	2016		
10	10204871	D2010	Water Heater	Gas, Commercial (400 MBH)	100 GAL	Winston Churchill High School / Main Building	M201	State Industries, Inc.	SBD-100-199NES118	2149127377906	2021		
11	10204908	D2010	Water Softener	Domestic Water, 300k Grains & 80 GPM	10 GAL	Winston Churchill High School / Main Building	Boiler Room						
12	10204940	D2010	Water Softener	Domestic Water, 300k Grains & 80 GPM	10 GAL	Winston Churchill High School / Main Building	Mechanical Room						
13	10204975	D2030	Pump	Sump	3 HP	Winston Churchill High School / Main Building	Mechanical Room	Inaccessible	Inaccessible	Inaccessible			
14	10204824	D2030	Pump	Sump	3 HP	Winston Churchill High School / Main Building	Main Electrical Room	Inaccessible	Inaccessible	Inaccessible			
15	10204918	D2060	Air Compressor	Tank-Style	5 HP	Winston Churchill High School / Main Building	Boiler Room	Quincy Compressor	No dataplate	No dataplate			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D30 HVAC													
1	10204916	D3020	Boiler	Gas, HVAC	10461 MBH	Winston Churchill High School / Main Building	Boiler Room	Burnham Corporation	3PW25050GOGP	NA			
2	10204910	D3020	Boiler [B 2]	Gas, HVAC	10461 MBH	Winston Churchill High School / Main Building	Boiler Room	Burnham Corporation	3PW25050GOGP	NA			
3	10204812	D3020	Furnace	Gas	250 MBH	Winston Churchill High School / Main Building	Penthouse	Trane	GDND025AFC2000ALD	A92B07394	1990		
4	10204876	D3020	Unit Heater	Electric	20 KW	Winston Churchill High School / Main Building	Concession	Trane	Inaccessible	Inaccessible			
5	10204872	D3020	Unit Heater	Hydronic	250 MBH	Winston Churchill High School / Main Building	Mechanical Room	Trane	UHSA 18688EAA110080000	C00C39849			
6	10204826	D3020	Unit Heater	Hydronic	85 MBH	Winston Churchill High School / Main Building	E235	Trane	Inaccessible	Inaccessible			
7	10205007	D3020	Unit Heater	Hydronic	100 MBH	Winston Churchill High School / Main Building	Penthouse	Trane	UHSA04288EAA100B0000	C00C39852			
8	10204934	D3020	Unit Heater	Hydronic	85 MBH	Winston Churchill High School / Main Building	Mechanical Room	Trane	Inaccessible	Inaccessible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
9	10205010	D3020	Unit Heater	Hydronic	100 MBH	Winston Churchill High School / Main Building	Electrical Room	Trane	Inaccessible	Inaccessible			
10	10204985	D3020	Unit Heater	Hydronic	400 MBH	Winston Churchill High School / Main Building	Main Electrical Room	Trane	UHSA320S8EAA1T0080000	L01M43144			
11	10204818	D3020	Unit Heater	Hydronic	400 MBH	Winston Churchill High School / Main Building	Boiler Room	Trane	Inaccessible	Inaccessible			
12	10205008	D3020	Unit Heater	Natural Gas	900 MBH	Winston Churchill High School / Main Building	Roof	Reznor	No dataplate	No dataplate			
13	10204883	D3020	Boiler Supplemental Components	Expansion Tank	150 GAL	Winston Churchill High School / Main Building	Chiller Room	Brunner	Illegible	Illegible	1999		
14	10204768	D3030	Chiller	Air-Cooled	100 TON	Winston Churchill High School / Main Building	Building Exterior	Trane	CGAM100F2AA2EXB2	U23K03137	2023		
15	10204996	D3030	Chiller [CH 1]	Water-Cooled	400 TON	Winston Churchill High School / Main Building	Chiller Room	Trane	CVHE400	L00C01303	2000		
16	10204947	D3030	Chiller [CH 2]	Water-Cooled	320 TON	Winston Churchill High School / Main Building	Chiller Room	Trane	CVHE320	L96C02612	1996		
17	10204935	D3030	Cooling Tower	(Typical) Open Circuit	296 TON	Winston Churchill High School / Main Building	Building Exterior	Evapco	No dataplate	No dataplate	1999		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
18	10204782	D3030	Cooling Tower	(Typical) Open Circuit	296 TON	Winston Churchill High School / Main Building	Building Exterior	Evapco	AT-29624	993350	1999		
19	10204882	D3030	Heat Pump	Packaged & Wall-Mounted	5 TON	Winston Churchill High School / Main Building	Building Exterior	Bard	Inaccessible	391H203777134-02			
20	10204853	D3030	Heat Pump	Packaged & Wall-Mounted	5 TON	Winston Churchill High School / Main Building	Building Exterior	Bard	Inaccessible	Inaccessible			
21	10204963	D3030	Heat Pump	Packaged & Wall-Mounted	5 TON	Winston Churchill High School / Main Building	Building Exterior	Bard	T42S1DA00	391H203777132-02			
22	10204786	D3030	Heat Pump	Packaged & Wall-Mounted	5 TON	Winston Churchill High School / Main Building	Building Exterior	Bard	T42S1DA08	391H203777133-02			
23	10204875	D3030	Split System	Condensing Unit/Heat Pump	2 TON	Winston Churchill High School / Main Building	Roof	Trane	TTB024C100A2	R13523DBF	2003		
24	10204964	D3030	Split System	Condensing Unit/Heat Pump	2 TON	Winston Churchill High School / Main Building	Roof	Trane	TTB024C100A2	R1353A5BF	2003		
25	10204828	D3030	Split System Ductless	Single Zone	1.5 TON	Winston Churchill High School / Main Building	Roof	Mitsubishi Electric	PUY-A18NKA7	83U10840B	2019		
26	10204868	D3030	Split System Ductless	Single Zone	1.5 TON	Winston Churchill High School / Main Building	Roof	Mitsubishi Electric	PUY-A18NKA7	34U25134C	2023		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
27	10204869	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	25 HP	Winston Churchill High School / Main Building	Boiler Room	Marathon Electric	NA	NA			
28	10204900	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Pump Room	Trane	Illegible	Illegible			
29	10204873	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	10 HP	Winston Churchill High School / Main Building	Pump Room	Trane	Illegible	Illegible			
30	10204989	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Mechanical Room	Bell & Gossett	NA	NA			
31	10205003	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Chiller Room	Trane	Illegible	Illegible			
32	10204993	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Pump Room	Trane	NA	NA			
33	10204823	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Boiler Room	Marathon	No dataplate	No dataplate			
34	10204771	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Boiler Room	Marathon	No dataplate	No dataplate			20
35	10204816	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Boiler Room	Marathon	No dataplate	No dataplate			

Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
36	10204836	D3050	Pump	Distribution, HVAC Chilled or Condenser Water	20 HP	Winston Churchill High School / Main Building	Pump Room	Trane	Illegible	Illegible			
37	10204861	D3050	Air Handler [AHU 1]	Interior AHU, Easy/Moderate Access	2400 CFM	Winston Churchill High School / Main Building	M103	Trane	MCCA 0 8UB0 00B0000	KOOC38202	2000		
38	10204792	D3050	Air Handler [AHU 10]	Interior AHU, Easy/Moderate Access	2400 CFM	Winston Churchill High School / Main Building	M203	Trane	MCCA008UB000A0000	K00C38161	2000		
39	10204847	D3050	Air Handler [AHU 12]	Interior AHU, Easy/Moderate Access	6000 CFM	Winston Churchill High School / Main Building	Auditorium	Trane	MCCA025GBY0ABB000EXECA00D0AAC	K00C38166	2000		
40	10204980	D3050	Air Handler [AHU 13]	Interior AHU, Easy/Moderate Access	6000 CFM	Winston Churchill High School / Main Building	Auditorium	Trane	MCCA025 ABH0C0C0000 000	K00F94047	2000		
41	10204777	D3050	Air Handler [AHU 14]	Interior AHU, Easy/Moderate Access	4000 CFM	Winston Churchill High School / Main Building	Auditorium	Trane	MCCA017GBY0ABB000C0ECA00D0AB000B	K00C38182	2000		
42	10204821	D3050	Air Handler [AHU 16]	Interior AHU, Easy/Moderate Access	4000 CFM	Winston Churchill High School / Main Building	M207	Trane	MCCA01 7UB000B0000	K00B32193	2000		
43	10204915	D3050	Air Handler [AHU 2]	Interior AHU, Easy/Moderate Access	2400 CFM	Winston Churchill High School / Main Building	M102	Trane	MCCA00SABHOC0B0000000	K00F94241	2000		
44	10204929	D3050	Air Handler [AHU 3]	Interior AHU, Easy/Moderate Access	2400 CFM	Winston Churchill High School / Main Building	M101	Trane	MCCA014GAY0ABB000E0ECA00D02	K00B32255	2000		

Index	ID	UFCODE	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
45	10204785	D3050	Air Handler [AHU 4]	Interior AHU, Easy/Moderate Access	11000 CFM	Winston Churchill High School / Main Building	M100	Trane	MCCA030UB000B0000	K00B32054	2000		
46	10204923	D3050	Air Handler [AHU 5]	Interior AHU, Easy/Moderate Access	4000 CFM	Winston Churchill High School / Main Building	AHU Room	Trane	MCCA008UB0 00B0 000	K00B32148	2000		
47	10204802	D3050	Air Handler [AHU 6]	Interior AHU, Easy/Moderate Access	4000 CFM	Winston Churchill High School / Main Building	AHU 567	Trane	MCCA006UB00030000	K00B32238	2000		
48	10204991	D3050	Air Handler [AHU 7]	Interior AHU, Easy/Moderate Access	2400 CFM	Winston Churchill High School / Main Building	AHU 567	Trane	Inaccessible	Inaccessible	2000		
49	10204865	D3050	Air Handler [AHU 9]	Interior AHU, Easy/Moderate Access	4000 CFM	Winston Churchill High School / Main Building	M205	Trane	MCCA021UB000B0000	K00B32153	2000		
50	10204942	D3050	Fan Coil Unit	Hydronic Terminal	4000 CFM	Winston Churchill High School / Main Building	Mechanical Room	Trane	BCVB0541GD0A231285F000000C	T00B14520			
51	10204801	D3050	Fan Coil Unit	Hydronic Terminal, 1801 to 2500 CFM		Winston Churchill High School / Main Building	Throughout Building	Inaccessible	Inaccessible	Inaccessible			150
52	10204931	D3050	Packaged Unit	RTU, Pad or Roof-Mounted	8 TON	Winston Churchill High School / Main Building	Roof	Trane	4YCC3018A1040BA	14293LPX9H	2014		
53	10204936	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
54	10204794	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
55	10204772	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70 MHSD	NA			
56	10204835	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
57	10204807	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
58	10205001	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
59	10204919	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
60	10204788	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
61	10205002	D3060	Exhaust Fan	Centrifugal, 28" Damper	8500 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	70MHSD	NA			
62	10204930	D3060	Exhaust Fan	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Greenheck	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
63	10204888	D3060	Exhaust Fan	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	Illegible	Illegible			
64	10204951	D3060	Exhaust Fan	Roof or Wall-Mounted, 36"Damper	15000 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	300VHI1B	NA			
65	10204851	D3060	Exhaust Fan [F-03]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Greenheck	GB-260-15X	NA			
66	10204899	D3060	Exhaust Fan [F-14]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Greenheck	135C3B	NA			
67	10204913	D3060	Exhaust Fan [F-18]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Greenheck	34555981850300029010600	NA			
68	10204879	D3060	Exhaust Fan [F-2]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Greenheck	34555981850300041010600	NA			
69	10204874	D3060	Exhaust Fan [F-32]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Cook	120 ACE120C3R	143SG75476-00/0000/01	2017		
70	10204862	D3060	Exhaust Fan [F-33]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Cook	120ACE120C3B	143SG75476-00/000702	2017		
71	10204917	D3060	Exhaust Fan [F-33]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Cook	120ACE120C3B	143SG75476-00/000703	2017		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
72	10204968	D3060	Exhaust Fan [F-46]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Loren Cook Company	120G3B	NA			
73	10204978	D3060	Exhaust Fan [F-63]	Roof or Wall-Mounted, 12" Damper	1000 CFM	Winston Churchill High School / Main Building	Roof	Cook	100C2B100ACE	180SL 27246-00/0000701	2024		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D50 Electrical													
1	10204770	D5010	Generator	Diesel	80 KW	Winston Churchill High School / Main Building	Main Electrical Room	Kohler	80RZ	0671989			
2	10204971	D5010	Automatic Transfer Switch	ATS	200 AMP	Winston Churchill High School / Main Building	Main Electrical Room	Kohler	NA	NA			
3	10204962	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
4	10204849	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	E201	Federal Pacific	NA	NA			
5	10204855	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	Utility Rooms/Areas	Federal Pacific	NA	NA			
6	10204791	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	E200	Federal Pacific	NA	NA			
7	10204841	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Winston Churchill High School / Main Building	E101	Federal Pacific	NA	NA			
8	10205004	D5020	Secondary Transformer	Dry, Stepdown	300 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
9	10205009	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	Boiler Room	Federal Pacific	NA	NA			
10	10204877	D5020	Secondary Transformer	Dry, Stepdown	112.5 KVA	Winston Churchill High School / Main Building	S106	Federal Pacific	NA	NA			
11	10204815	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
12	10205005	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Boiler Room	Federal Pacific	NA	NA			
13	10205006	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	E101	Federal Pacific	NA	NA			
14	10204912	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific Electric	NA	NA			
15	10204889	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	M208	Federal Pacific	NA	NA			
16	10204885	D5020	Secondary Transformer	Dry, Stepdown	112.5 KVA	Winston Churchill High School / Main Building	Main Electrical Room	Federal Pacific	NA	NA			
17	10204955	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
18	10204793	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	M208	Federal Pacific	NA	NA			
19	10204798	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	M206	Federal Pacific	NA	NA			
20	10204898	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	E105	Federal Pacific	NA	NA			
21	10204924	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	M262	Federal Pacific	NA	NA			
22	10204953	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
23	10204870	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	E108	Federal Pacific	NA	NA			
24	10204787	D5020	Secondary Transformer	Dry, Stepdown	30 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
25	10204976	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
26	10204927	D5020	Secondary Transformer	Dry, Stepdown	15 KVA	Winston Churchill High School / Main Building	Boiler Room	Federal Pacific	NA	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
27	10204979	D5020	Secondary Transformer	Dry, Stepdown	45 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
28	10204932	D5020	Secondary Transformer	Dry, Stepdown	75 KVA	Winston Churchill High School / Main Building	Electrical Room	Federal Pacific	NA	NA			
29	10204863	D5020	Secondary Transformer	Dry, Stepdown	30 KVA	Winston Churchill High School / Main Building	Mechanical Room	Federal Pacific	NA	NA			
30	10204880	D5020	Switchboard	277/480 V	2000 AMP	Winston Churchill High School / Main Building	Main Electrical Room	Cutler-Hammer	NA	NA	1999		
31	10204844	D5020	Switchboard	277/480 V	2000 AMP	Winston Churchill High School / Main Building	Main Electrical Room	Cutler-Hammer	NA	NA	1999		
32	10204843	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	Electrical Room	GE	NA	NA	2000		
33	10204949	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	Electrical Room	Cutler-Hammer	NA	NA	2000		
34	10204830	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	E108	GE	NA	NA	2000		
35	10204839	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	E200	GE	NA	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
36	10204834	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	Electrical Room	Cutler-Hammer	NA	NA	2000		
37	10204892	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	Boiler Room	Cutler-Hammer	NA	NA	2001		
38	10204997	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	M208	Cutler-Hammer	NA	NA	2000		
39	10204778	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	S106	GE	NA	NA	2000		
40	10204969	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	Boiler Room	Cutler-Hammer	NA	NA	2000		
41	10204928	D5020	Distribution Panel	120/208 V	400 AMP	Winston Churchill High School / Main Building	E101	Cutler-Hammer	NA	NA	2000		
42	10204984	D5020	Distribution Panel	277/480 V	400 AMP	Winston Churchill High School / Main Building	Boiler Room	Cutler-Hammer	NA	NA	2000		
43	10204804	D5020	Distribution Panel	277/480 V	1200 AMP	Winston Churchill High School / Main Building	Main Electrical Room	Cutler-Hammer	NA	NA	1999		
44	10204846	D5020	Distribution Panel	277/480 V	1200 AMP	Winston Churchill High School / Main Building	Main Electrical Room	Cutler-Hammer	NA	NA	1999		

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
45	10204933	D5030	Variable Frequency Drive	VFD, by HP of Motor	20 HP	Winston Churchill High School / Main Building	M100	ABB	NA	2164701992	2016		
46	10204811	D5030	Variable Frequency Drive	VFD, by HP of Motor	7.5 HP	Winston Churchill High School / Main Building	AHU 567	MagneTek	CIMR-PSM41P5	TWO1Y7098200025			
47	10204914	D5030	Variable Frequency Drive	VFD, by HP of Motor	5 HP	Winston Churchill High School / Main Building	M102	Yaskawa	CIMR-E7U42P2	1W1245012290037			
48	10204950	D5040	High Intensity Discharge (HID) Fixtures	Metal Halide, Gymnasium Lighting, 400 W		Winston Churchill High School / Main Building	Gymnasium						16
49	10204973	D5040	High Intensity Discharge (HID) Fixtures	Metal Halide, Gymnasium Lighting, 400 W		Winston Churchill High School / Main Building	Gymnasium						16

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
D70 Electronic Safety & Security													
1	10204867	D7050	Fire Alarm Panel	Fully Addressable		Winston Churchill High School / Main Building	Main Electrical Room	Illegible	NA	NA			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
E10 Equipment													
1	10204906	E1030	Foodservice Equipment	Commercial Kitchen, 1-Bowl		Winston Churchill High School / Main Building	Throughout Building						
2	10204797	E1030	Foodservice Equipment	Commercial Kitchen, 2-Bowl		Winston Churchill High School / Main Building	Commercial Kitchen						
3	10204859	E1030	Foodservice Equipment	Commercial Kitchen, 3-Bowl		Winston Churchill High School / Main Building	Commercial Kitchen						
4	10204766	E1030	Foodservice Equipment	Commercial Kitchen, 3-Bowl		Winston Churchill High School / Main Building	Concession						
5	10204974	E1030	Foodservice Equipment	Convection Oven, Single		Winston Churchill High School / Main Building	Commercial Kitchen	Cleveland	Illegible	Illegible			
6	10204945	E1030	Foodservice Equipment	Exhaust Hood, 8 to 10 LF		Winston Churchill High School / Main Building	Commercial Kitchen	AvTec	AXW1-0	54724B			
7	10204860	E1030	Foodservice Equipment	Exhaust Hood, 8 to 10 LF		Winston Churchill High School / Main Building	Commercial Kitchen	No dataplate	No dataplate	NA			
8	10204890	E1030	Foodservice Equipment	Food Warmer, Proofing Cabinet on Wheels		Winston Churchill High School / Main Building	Commercial Kitchen	Delfield	Illegible	Illegible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
9	10204941	E1030	Foodservice Equipment	Food Warmer, Proofing Cabinet on Wheels		Winston Churchill High School / Main Building	Commercial Kitchen	Delfield	No dataplate	No dataplate			
10	10204779	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Winston Churchill High School / Main Building	Commercial Kitchen	Blodgett	No dataplate	No dataplate			
11	10204784	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Winston Churchill High School / Main Building	Commercial Kitchen	Blodgett	No dataplate	No dataplate			
12	10204922	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Winston Churchill High School / Main Building	Commercial Kitchen	Blodgett	No dataplate	No dataplate			
13	10204957	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Winston Churchill High School / Main Building	Commercial Kitchen	Blodgett	No dataplate	No dataplate			
14	10204946	E1030	Foodservice Equipment	Food Warmer, Tabletop Drawers (Set of 4)		Winston Churchill High School / Main Building	Commercial Kitchen	Cleveland	Inaccessible	Inaccessible			
15	10204852	E1030	Foodservice Equipment	Icemaker, Freestanding		Winston Churchill High School / Main Building	Commercial Kitchen	Manitowoc	C470S	980521297			
16	10204767	E1030	Foodservice Equipment	Icemaker, Freestanding		Winston Churchill High School / Main Building	Concession	Manitowoc	No dataplate	NA			
17	10204878	E1030	Foodservice Equipment	Range, 2-Burner		Winston Churchill High School / Main Building	Commercial Kitchen	Garland	Inaccessible	Inaccessible			

Index	ID	UFCode	Component Description	Attributes	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
18	10204817	E1030	Foodservice Equipment	Refrigerator, 4-Door Reach-In		Winston Churchill High School / Main Building	Commercial Kitchen	Delfield	No dataplate	No dataplate			
19	10204995	E1030	Foodservice Equipment	Walk-In, Condenser for Refrigerator/Freezer		Winston Churchill High School / Main Building	Roof	Trenton Refrigeration	TESA035L6-HT3B-F	132405330			
20	10204896	E1030	Foodservice Equipment	Walk-In, Condenser for Refrigerator/Freezer		Winston Churchill High School / Main Building	Roof	Trenton Refrigeration	TEZA015H8-HT3D-B	239350938			
21	10204987	E1030	Foodservice Equipment	Walk-In, Evaporator for Refrigerator/Freezer		Winston Churchill High School / Main Building	Commercial Kitchen	Trenton Refrigeration	TPLP317MAS1DR2	239344148	1000		
22	10204832	E1030	Foodservice Equipment	Walk-In, Evaporator for Refrigerator/Freezer		Winston Churchill High School / Main Building	Commercial Kitchen	Cold Zone	AE46-185B	D005385-0401			
23	10204904	E1030	Foodservice Equipment	Walk-In, Freezer		Winston Churchill High School / Main Building	Commercial Kitchen	Thermocool	NA	34034REDE			
24	10204769	E1030	Foodservice Equipment	Walk-In, Refrigerator		Winston Churchill High School / Main Building	Commercial Kitchen	Thermocool	NA	34934REDE			